

**AGENDA
CITY OF GUNNISON
PLANNING & ZONING COMMISSION
REGULAR MEETING
Rev 2/1/2013**

DATE: WEDNESDAY, FEBRUARY 13, 2013
TIME: 7:00 P.M.
PLACE: CITY HALL, COUNCIL CHAMBERS, 201 WEST VIRGINIA AVE.

7:00pm

- I. CALL TO ORDER**
- II. PLEDGE OF ALLEGIANCE TO THE FLAG**
- III. UNSCHEDULED CITIZENS**
- IV. SB 12-5, FINAL PLAT, AN APPLICATION BY DRAKE GUNNISON PARTNERS, LLC, TO SUBDIVIDE ONE LOT (4.8 ACRES) INTO FOUR LOTS, LOCATED IN THE COMMERCIAL ZONE DISTRICT**
- V. CONSIDERATION OF THE JANUARY 9, 2012 MEETING MINUTES**
- VI. COUNCIL UPDATE**
- VII. COMMISSIONER COMMENTS**
- VIII. PLANNING STAFF UPDATE**
- IX. ADJOURN TO WORK SESSION**

**WORK
SESSION**

**PROPOSED TEXT AMENDMENT TO THE LAND
DEVELOPMENT CODE – SIGN STANDARDS – MULTI-TENANT
SIGNS**

**TO COMPLY WITH ADA REGULATIONS, PEOPLE WITH SPECIAL
NEEDS ARE REQUESTED TO CONTACT THE CITY OF GUNNISON
COMMUNITY DEVELOPMENT DEPARTMENT AT 641.8090**

This agenda is subject to change, including the addition or deletion of items at any time. Regular Meetings and Special Meetings are recorded and action can be taken. Minutes are on the City website at www.cityofgunnison-co.gov. Work sessions are not recorded and formal action cannot be taken. For further information, contact the Community Development Department at 641-8090.

**ALL PLANNING & ZONING COMMISSION MEETINGS
ARE USUALLY BROADCAST LIVE ON LOCAL CABLE CHANNEL 15**

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STAFF REPORT AND RECOMMENDATION
FINAL PLAT – DRAKE GUNNISON PARTNERS, LLC

TO: Planning and Zoning Commission
From: Community Development Staff
Date: February 13, 2013
RE: Major Subdivision SB 12-5, VanTuyl Village, Lot 80

CODE PROVISIONS

The City's *Land Development Code (LDC)* Section 15.160.030(A) defines the types of subdivision within the City. This request is classified as a Major Subdivision, which is an application proposing more than eight lots or units, or which subdivides a parent parcel of four acres or greater. Major subdivisions are subject to a four step process:

1. review of sketch plan by Planning Commission at a public hearing;
2. review of the preliminary plat by Planning Commission at a public hearing;
3. review and recommendation of the final plat by Planning Commission (with no public hearing); and
4. action on the final plat by City Council (with no public hearing).

The Planning and Zoning Commission reviewed and approved the Preliminary Plan application on January 9, 2013 with the following findings of fact and conditions:

Findings of Fact:

1. The Planning and Zoning Commission finds that the record of this action includes the application contents on file with the City of Gunnison; all comments entered into the Public Hearing record; and provisions of the *City of Gunnison Land Development Code* and the *City of Gunnison Master Plan*.
2. The Planning and Zoning Commission finds that this application is for a Major Subdivision of a 4.8 acre parcel into four lots and the proposed lot configurations comply with minimal lot size and frontage standards established by the *LDC*.
3. The Planning and Zoning Commission finds that the property is located in the Commercial zone district and that the applicant intends to follow the City development standards for this district.
4. The Planning and Zoning Commission finds that the Preliminary Plat submittal includes detailed civil engineering plans that have been reviewed by the City Engineer and personnel from the Public Works Department and no major issues were found.
5. The Planning and Zoning Commission finds that the irrigation ditch alignment is shown outside the easement on the utility plan and the final plan will depict it within the existing 15 foot easement adjacent to Highway 135.
6. The Planning and Zoning Commission finds that alignment of the irrigation ditch within Bowman Street will be adjusted on documents submitted for Final Plat submittal.
7. The Planning and Zoning Commission finds that Final Plat documents will include two additional fire hydrants for internal service to the development.
8. The Planning and Zoning Commission finds that appropriate easements for utilities and access have been established and the Declaration of Covenants will be reviewed at Final Plat.

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9. The Planning and Zoning Commission finds that a Traffic Impact Study was prepared and the report estimates approximately 1,429 vehicle trips per day will occur at build-out.
10. The Planning and Zoning Commission finds that the applicant desires a full movement intersection at VanTuyl Circle and Highway 135 and a Highway Access Permit application has been submitted to CDOT.
11. The Planning and Zoning Commission finds that Bowman Street, located on the south boundary of the proposed subdivision, is a deed restricted parcel with the restriction mandating the real property will be used as public right-of-way functions. The Planning and Zoning Commission further finds that the access as illustrated does not have appropriate alignment with VanTuyl Circle and the documents for the Final Plat submittal will depict the access in a proper alignment.
12. The Planning and Zoning Commission finds that the 15 foot easement and the Highway 135 right-of-way improvements allow for an eight foot-wide sidewalk, utilities and landscape buffer.
13. The Planning and Zoning Commission finds that the nine review standards for subdivisions have been or will be met based on the following Conditions:

Conditions:

1. The Final Plat application shall comply with all provisions of the City's *Land Development Code*.
2. Use of Bowman Street shall comply with restrictions set forth by the deed and approved by the City Council.
3. The Final Plan submittal shall depict the center of the proposed Bowman Street aligning with the east/west centerline of VanTuyl Circle.
4. The Final Plan submittal shall depict the irrigation ditch along the eastern boundary of the property within the existing 15 foot easement adjacent to Highway 135.
5. Final Plat documents will include two additional fire hydrants for internal service to the development.

The Planning and Zoning Commission may take action to recommend to City Council approval, approval with conditions, remand the application for additional information, or denial of the application.

APPLICATION

The applicant, Drake Gunnison Partners, LLC, represented by Cole Haberer, is requesting a Major Subdivision (Final Plat) application to subdivide 4.8 acres into four lots. The legal description of the site is Lot 80, Re-plat of Lot 80, VanTuyl Village Subdivision (reception number 580957).

The applicant has complied with application requirements for Final Plat in accordance with Section 15.160.070 of the *LDC*. The applicants' narrative states:

The proposed project statement will be for the separation of lot 80 which will be consistent with the overall guidelines and will meet the standards addressing various requirements of Title 15 Land Development Code of the Gunnison

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Municipal Code. We propose to re-plat the overall +4.8 acre lot, 80 Vantuyl Village, into 4 separate lots. This lot is zoned C – Commercial and Use by Right and we plan to comply with the requirements of the Commercial Zoning Designation.

...As for the overall project, each lot will be developed at different times. In phase one, Lot One will be developed first in which all utilities will be run to adjacent lots 2-4. Utility easements will be established and provided on the future Plat showing the four new Lots. For future development, lots 2-4 would also have a commercial use with individual buildings. These lots would have single or multi-tenant buildings and would have front or side loading deliveries due to smaller sizes of tenants. Building areas and landscaping will be in compliance with the Use by Right and Commercial Zoning allowed. All lots will be designed to provide enough parking to sustain the parking to building SF ratio.

...The vehicular circulation and interior roadway including parking lots and off-street requirements will be developed per the municipal codes/planning and public works department guidelines and criteria. There will be a declaration of covenants, conditions and restrictions recorded against the overall development that regulates utility easements, drainage, cross parking and other rules and regulations for the shopping center. The overall development will have its major primary access off of Vantuyl Circle and secondary access off of Sydney Street. Parking for Lot 1 will be sufficient to satisfy building density requirements. In addition to the landscaping in the city R.O.W. on the southern boundary, the developer would also like to provide additional access to these lots by providing a 30' drive aisle located in the city R.O.W. With this added drive aisle, truck delivery circulation shall be contained within the site which would help prevent noise to the adjacent neighborhood.

Pedestrian circulation paths will be developed along the interior vehicular circulation routes connecting the buildings and different points of entries into the site. A pathway will also connect to a new sidewalk running parallel with Highway 135.

PROPOSED IMPROVEMENTS

The applicant is proposing four lots to be developed in conformance to zoning and dimensional standards of the Commercial district within the LDC. Lot 1 is proposed as a commercial retail with outdoor storage and Lots 2-4 are proposed as future commercial uses to be developed in a separate phase.

The Highway 135 frontage is located in the Entrance Overlay Zone which requires additional standards for setbacks, landscaping, storage, vehicular access, and parking. Site specific zone standards will be applied when building permit applications are submitted.

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STREET CIRCULATION

Primary access is off Main Street/Highway 135 to VanTuyl Circle from the north. Secondary access is from Spencer Avenue and Pine Street which connects to VanTuyl Circle and Sydney Street. Bowman Street will be improved as an access-way to the commercial site development.

The intersection of VanTuyl Circle and Main Street/Highway 135 is currently right-in, right-out only. The City staff submitted an application to the Colorado Department of Transportation (CDOT) requesting a Highway Access Permit for a full movement intersection at this location and the permit has been granted by CDOT.

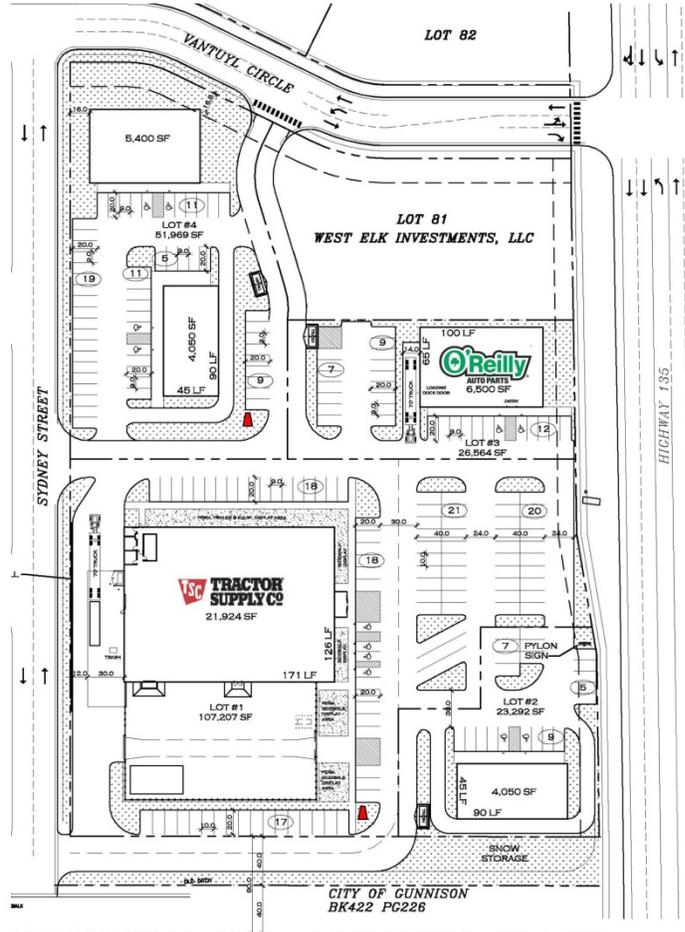
City Staff is recommending that the City construct the CDOT improvements, with an estimated cost of \$15,301 to be allocated from the 2013 Street Improvement budget. The intersection serves broader City interests. Specifically, a larger neighborhood than the Blue Mesa Shopping Center, including other Commercial lots, multi-family and single family residential will benefit from additional connectivity.

The applicant/developer will be responsible for constructing the Bowman Street improvements. Bowman Street is a deeded piece of property owned by the City for the purpose of public right-of-way, however, the proposed improvement only serves the Blue Mesa Shopping Center.

Interior streets within the subdivision tract will be private and shared maintenance responsibilities will be enforced through a declaration of covenants. The covenants address buildable areas, driveways, common areas and maintenance of all properties including shared costs in the common areas.

TRIP GENERATION

A Traffic Impact Study was prepared by Aldridge Transportation Consultants, LLC (November 26, 2012) using the *Institute of Transportation Engineering, Trip Generation*, 9th Edition. The uses include the Tractor Supply Store, O'Reilly's Auto Parts, and



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projected specialty retail (i.e. quality apparel, professional services, small restaurants, etc.). The report estimates 1,429 trips per day for the four lots when developed.

The Traffic Impact Study concludes and recommends removing the traffic island for a full movement intersection at VanTuyl Circle and Highway 135.

TITLE INSURANCE AND TREASURER’S CERTIFICATE

A Commitment for Title Insurance document has been provided by the Gunnison County Abstract and a Treasurer’s Certificate from the Gunnison County Treasurer’s Office was submitted showing that taxes are not delinquent.

FINAL ENGINEER PLANS

Final civil engineer plans were developed by HCI Engineers. The final engineer plans include water, sewer, irrigation, drainage, and dry utilities (electric, gas and phone). The engineered plans have been reviewed by the City Engineer and personnel from the Public Works Department and there are no major issues to report.

Water and Sewer. The final engineer plans indicate that water and sewer trunk mains are located around the perimeter of the existing parcel. Private water/sewer service lines, as shown on the engineer plan extend to the proposed four lots and the adjacent Lot 81. All utility service extensions are located within the 30 foot private access-ways, which will also be dedicated utility easements for combined service to the subdivision. Two additional fire hydrant locations are indicated within Lot 1 and 4.

Irrigation Ditch. The irrigation ditch adjacent to the highway corridor will be improved as part of this subdivision proposal. The ditch segment along Highway 135 will be buried pipe within the existing 15 foot easement. The east/west ditch alignment within Bowman Street has been modified on the final plans.

Grading and Drainage. The final engineer plans include grading and drainage details. The final plans indicate that drainage will sheet flow across the parcels and be conveyed into the stormwater facilities developed for the VanTuyl Village Subdivision. It is not anticipated that stormwater drainage flows will be in excess of historic runoff flows, as contemplated in the VanTuyl Village Master Drainage Plan; however, if excess flows are generated by site specific development, on-site detention facilities will be required.

Dry Utilities. Electrical, phone and natural gas services are shown on the preliminary civil engineer plans. All lots, to include Lot 81 have dry utility services.

SUBDIVISION IMPROVEMENTS AGREEMENT

A Subdivision Improvements Agreement (SIA) has been drafted to include a staff recommendation for the City to complete the CDOT improvements at VanTuyl Circle and Highway 135. The SIA will be finalized during Final Plat review by City Council. The draft SIA is attached to this staff report.

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DEPARTMENTAL COMMENTS

Building Official: No issue.

Fire Marshal: No issue.

Parks and Recreation Director: No issue.

Police Department: No issue.

City Attorney:

Public Works Director: See comments below.

City Engineer: A manhole with a drop raise is needed at the southeast corner of the property with the depth of the open ditch a maximum of two feet.

Water/Sewer Superintendent: No issue.

Electric Superintendent: Three-phase primary power will need to be extended to the lot lines at the customer expense.

STAFF OBSERVATIONS

1. The applicant is proposing commercial uses on four lots varying in size from approximately .5 acres to 2.5 acres. The proposed lot configurations comply with lot size and lot frontage requirements of the Commercial zone district.
2. **Easements.** The applicant proposes 30-foot-wide access and utility easements for the private internal road system. A 15-foot-wide pedestrian, utility, irrigation and drainage easement exists on the eastern boundary of the existing lot.
3. **Highway 135 Frontage.** Specific design of the Highway frontage corridor has been provided as part of the Final Plat submittal.
4. **Proposed Roads and Access.** Interior road sections will be 30 feet wide. These private roads will be regulated by a declaration of covenants, addressing maintenance, cross parking and utility easements, that will be recorded with the Final Plat. Access points are off VanTuyl Circle, Sydney Street and the proposed unimproved Bowman Street. Final Plat documents indicate the Bowman access drive aligning with the existing center line of VanTuyl Circle. CDOT has issued a Highway Access Permit for a full movement intersection at VanTuyl Circle and Highway 135.
5. **Emergency Access.** As indicated on the Final Plat, fire lane designs are compliant with the *International Fire Code*. A fire hydrant exists at the VanTuyl Circle/Highway 135 intersection. Final Plat documents include two additional fire hydrants for internal service to the development.
6. **Traffic Impact Study.** A Traffic Impact Study was prepared by Aldridge Transportation Consultants, LLC. Based on the proposed commercial uses with existing zoning entitlements, the report estimates approximately 1,429 vehicle trips per day will occur at build-out.
7. **Utilities.** Final civil engineer plans were developed by HCI Engineers and include extensions of water, sewer, irrigation, drainage, and dry utilities (electric, gas and phone). Utilities are proposed within the 30-foot-wide access and utility easements (internal roads). Lot 81, which is not part of this subdivision, will be provided utility services.
8. **Irrigation Ditch.** The Final Plan submittal indicates the irrigation ditch within the existing 15 easement bordering Highway 135. The ditch alignment within Bowman Street has been modified on the Final Plat submittal.

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9. **Stormwater Control.** There are three open space parcels used for stormwater detention in the VanTuyl Village Subdivision. The historic runoff flows south and **then west into the southern open space parcel. Discharge from the site will not exceed historic undeveloped runoff values.**
10. **Geotechnical Report.** A Geotechnical Report has been prepared by Buckhorn Geotech that provides recommendations for the long-term performance of foundation soils, foundations, concrete slabs and on-site improvements.
11. **Subdivision Improvements Agreement (SIA).** The SIA has been drafted to ensure improvements comply with the City of Gunnison Construction Standards and will be finalized at Final Plat review with City Council.
12. **Highway Intersection Costs.** Staff recommends that CDOT intersection improvements be completed by the City, using funds from the 2013 Street Improvement budget, as the intersection serves a broader neighborhood than the Blue Mesa Shopping Center.
13. The conditions of the Preliminary Plat have been addressed by the Final Plan submittal. Staff recommends approval of this Final Subdivision application with a series of findings and one condition.

REVIEW STANDARDS

The LDC Section 15.16.080 contains nine specific standards that are used by the Planning and Zoning Commission and City Council to consider for all subdivision applications. Based on the LDC Section 15.120.060.C, **an application that fails to comply with any applicable review standard shall be denied.**

- A. **Master Plan.** *The proposed subdivision shall carry out the purpose and spirit of the Master Plan and conform with all of the Plan's applicable intent statements, specific directions and recommended actions. It shall be designed to be compatible with surrounding land uses, to protect neighbors from undesirable noise, glare and shadows and shall not cause adverse effects on their privacy, solar access and views.* The following excerpts from the Master Plan are applicable to this subdivision.

No Conflict.

Chapter 2, Community Character, Policy 3: New developments along the City's edges will improve the entrances and complement the City's community character and sense of place.

Chapter 5, Land Use and Growth, Goal: Growth and development will preserve and enhance the quality of life which makes Gunnison unique and attractive. Edges of the community remain clearly defined. New developments will demonstrate high-quality urban design while protecting the rural landscapes surrounding the City. Sprawl will be avoided through effective infill and compact growth.

Chapter 7, Economics, Goal: A diversified local economy will support the economic and employment needs of residents and account for social character, land use patterns and global economic and global energy concerns.

Chapter 7, Economics, Policy 4: Assure attractive and financially strong commercial zone districts.

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B. ***Zone District Standards.*** *The proposed subdivision shall comply with the use and dimensional standards of the underlying zone district and shall provide off-street parking as required for the use.*

No Conflict. The applicant proposes commercial land use regulated by use and dimensional standards and other criteria contained in the LDC.

C. ***Improvements.*** *The proposed subdivision shall be provided with improvements which comply with Article 11, Improvements Standards and landscaping which complies with Section 15-9-4 Landscaping Standards.*

Possible Conflict. A Subdivision Improvements Agreement has been drafted to ensure all improvements will be installed based on City standards and will be finalized during City Council Final Plat submittal review. Staff recommends that the City complete the CDOT intersection improvements as the intersection serves a broader neighborhood than the Blue Mesa Shopping Center and will improve connectivity of the City's Street System.

The fact that the major trunk line utilities are already in place reduces the burden of significant engineering design for the proposed subdivision. Alignment of the irrigation ditch is within an easement and the alignment in Bowman Street has been confirmed.

1. ***Streets.*** *Existing and proposed streets shall be suitable and adequate to carry anticipated traffic within and in the vicinity of the proposed subdivision.*

No Conflict: The proposed subdivision is accessed off existing VanTuyl Circle and Sydney Street and the unimproved Bowman Street. Final Plat shows the Bowman access drive aligning with the existing center line of VanTuyl Circle.

Interior circulation is proposed as private access-ways with a pavement width of 30 feet. Internal access-ways are sufficient to provide emergency access to all of the proposed lots. The City was granted a Highway Access Permit from CDOT for a full movement intersection at VanTuyl Circle and Highway 135.

2. ***Utilities.*** *Existing and proposed utility services shall be suitable and adequate to meet the needs of the proposed subdivision. As a condition of obtaining water service, any water rights which run with the property shall be dedicated to the City.*

No Conflict. All utilities are capable of reaching each individual lot, to include Lot 81. Final plan documents have adjusted the irrigation ditch so it is located within the existing 15 foot easement adjoining the eastern property line. The irrigation ditch will be 12 inch corrugated metal pipe with access manholes. Additionally, the irrigation ditch alignment in Bowman Street is moved to accommodate the proposed access-way.

3. ***Phases.*** *If the subdivision is to be developed in phases, each phase shall contain the required parking spaces, landscape areas, utilities, and streets that are necessary for creating and sustaining a stable environment.*

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No Conflict. The applicant proposes to develop Lot 1 in the first phase and Lots 2-4 at a later date. The applicant proposes extending all utilities to all lots in phase one. The Preliminary Plat includes adequate cross easements to serve all proposed lots as well as existing Lot 81.

D. **Natural Features.** *The layout of lots and blocks shall provide desirable settings for structures by making use of natural contours and maintaining existing views, affording privacy for residents and protecting them from adverse noise and vehicular traffic. The system of roadways and the lot layout shall be designed to take advantage of visual qualities of the areas. Natural features and native vegetation shall be preserved whenever possible. Tree masses and individual trees of six inch (6") caliper or greater shall be preserved.*

No Conflict. The layout of the lots and private roadway system does not affect the natural features of the site or surrounding area.

E. **Floodplains.** *Tracts of land or portions thereof lying within the one hundred year floodplain may only be subdivided for open space until the subdivider has shown that compliance with the requirements of the City's floodplain regulations can be met.*

No Conflict. The property is not within a special flood hazard area.

F. **Noise Reduction.** *Where a subdivision borders on or contains a highway right-of-way, the City shall require adequate provisions of reduction of noise. A parallel street, landscaping, screening, easement, greater lot depth, increased rear yard setbacks and fencing are potentially appropriate solutions, among others.*

No Conflict. The applicant has submitted a plan for a landscape buffer along Highway 135 indicating adequate space for a sidewalk and landscaping along the highway frontage. Additionally, a screening wall structure will be constructed on Sydney Street, behind the Tractor Supply loading dock.

G. **Future Streets.** *When a tract is subdivided into lot(s) or parcel(s) shall be so arranged so as to permit the logical location and opening of future streets and appropriate re-subdivision, with provision for adequate utility easements and connectors for such re-subdivision.*

No Conflict. Streets surround the property and internal private roads are proposed. Maintenance and operational requirement will be specified within a declaration of covenants to be recorded with the Final Plat.

H. **Common Recreation Facilities.** *Where a development is proposed to contain common recreation facilities, such facilities shall be so located within the development so as to be easily accessible to the residents and to least interfere with neighboring developments.*

Not Applicable.

I. **Lots and Blocks**

1. **Pattern.** *The size, shape and orientation of lots shall be appropriate to the design and location of the proposed subdivision and to the type of*

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FINAL PLAT – DRAKE GUNNISON PARTNERS, LLC

development contemplated. Where appropriate, lots shall be laid out to respect the existing City pattern. Blocks generally shall not be less than three hundred feet (300') nor more than one thousand two hundred feet (1,200') in length.

No Conflict. The proposed lot sizes, shapes and orientation are appropriate and consistent with the VanTuyl Village Subdivision.

- 2. **Frontage.** Residential lots should front only on local streets; however, when necessary, lots designated to face a collector street shall provide adequate means for automobile turnaround within the lot.*

Not Applicable.

- 3. **Right Angles.** Side lot lines shall be approximately at right angle or radial to street lines.*

No Conflict. Lot lines are appropriately angled.

- 4. **Double Frontage Lots.** Double frontage lots are prohibited, except where they are necessary to provide for the separation of residential development from collector or arterial streets or to overcome specific limitations of the topography or orientation. A planting and screening easement of at least ten feet (10") shall be provided along the portion of the lot which abuts such a collector or arterial street. There shall be no right of access across a planting and screening easement. The screening easement shall be maintained by the property owner.*

No Conflict. Technically, the proposed Lot 1 is a double frontage lot, but the fact that it is part of an integrated shopping center design negates any issues with double frontage lot configuration.

- 5. **T Intersections.** The building area of lots shall not face directly into the oncoming traffic of an intersecting street of a "T" intersection.*

No Conflict.

- 6. **Solar Energy.** For the purposes of protecting and enhancing the potential for utilizing solar energy in the proposed subdivision, detached single family lots are encouraged to be laid out in such a manner that the houses will be oriented so that their long axis will run east/west and so that the houses will not block the solar access of adjacent houses.*

Not Applicable.

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ACTION

During the Planning and Zoning Commission meeting of February 13, 2013 Commissioner _____ moved, Commissioner _____ seconded and the Planning and Zoning Commission voted to recommend to City Council APPROVAL of the Major Subdivision Final Plat, SB 12-5, Blue Mesa Shopping Center with the following findings of fact conditions:

Findings of Fact:

1. The Planning and Zoning Commission finds that the record of this action includes the application contents on file with the City of Gunnison; all comments entered into the Public Hearing record; and provisions of the *City of Gunnison Land Development Code* and the *City of Gunnison Master Plan*.
2. The Planning and Zoning Commission finds that this application is for a Major Subdivision of a 4.8 acre parcel into four lots and the proposed lot configurations comply with minimal lot size and frontage standards established by the *LDC*.
3. The Planning and Zoning Commission finds that the property is located in the Commercial zone district and that the applicant intends to follow the City development standards for this district.
4. The Planning and Zoning Commission finds that the Final Plat submittal includes detailed civil engineering plans that have been reviewed by the City Engineer and personnel from the Public Works Department and no issues were found.
5. The Planning and Zoning Commission finds that the irrigation ditch alignment is shown within the easement adjacent to Highway 135.
6. The Planning and Zoning Commission finds that alignment of the irrigation ditch within Bowman Street has been adjusted on documents submitted for Final Plat.
7. The Planning and Zoning Commission finds that Final Plat documents will include two additional fire hydrants for internal service to the development.
8. The Planning and Zoning Commission finds that appropriate easements for utilities and access have been established and the Declaration of Covenants will be recorded with the Final Plat.
9. The Planning and Zoning Commission finds that a Traffic Impact Study was prepared and the report estimates approximately 1,429 vehicle trips per day will occur at build-out.
10. The Planning and Zoning Commission finds that CDOT has issued a Highway Access Permit that allows a full movement intersection at VanTuyl Circle and Highway 135.

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11. The Planning and Zoning Commission finds that Bowman Street, located on the south boundary of the proposed subdivision, is a deed restricted parcel with the restriction mandating the real property will be used as public right-of-way functions. The Planning and Zoning Commission further finds that the access as illustrated in the Final Plat submittal has appropriate alignment with VanTuyl Circle.
12. The Planning and Zoning Commission finds that the 15 foot easement and the Highway 135 right-of-way improvements allow for an eight foot-wide sidewalk, utilities and landscape buffer.
13. The Planning and Zoning Commission finds that a Subdivision Improvements Agreement has been drafted with a recommendation to City Council that the City be responsible for completing the CDOT improvements at VanTuyl Circle and Highway 135. Funding for these improvements is proposed from the 2013 budget for Street Improvements.
14. The Planning and Zoning Commission finds that the nine review standards for subdivisions have been met and that the Final Plat application complies with all provisions of the City's *Land Development Code*.

Conditions:

1. Use of Bowman Street shall comply with restrictions set forth by the deed and approved by the City Council.
2. The Subdivision Improvements Agreement, including the recommendation for the City to construct CDOT improvements, shall be considered for approval during Final Plat submittal review by City Council.

Application Fact Sheet
City of Gunnison Land Development Code
Minimum Application Contents
In Accordance With 15.120.030 C.

City of Gunnison
P.O. Box 239
Gunnison, CO 81230
(970)641-8090

Applicant Name(s): <u>Drake Gunnison Partners LLC</u>	
Phone #: <u>3)825-6200</u> Fax #: <u>3)825-7200</u> E-Mail: <u>hauser@drakeres.com</u>	
Mailing Address: <u>496 S. Broadway</u>	
City: <u>Denver</u>	State: <u>Co</u> Zip: <u>80209</u>
Summary of Request: <u>Planning / Zoning / Prelim-Final plat</u>	
Disclosure of Ownership- Please provide one of the following:	
<input type="checkbox"/> Assessor Parcel Info <input type="checkbox"/> Mortgage <input type="checkbox"/> Deed <input type="checkbox"/> Judgments	
<input type="checkbox"/> Liens <input checked="" type="checkbox"/> Contract <input type="checkbox"/> Easement Agreement <input type="checkbox"/> Other Agreements	
Legal Description	
Site Address of Property: <u>N. Hwy 135, Gunnison</u> Zoning <u>Commercial</u>	
Block: _____ Lot(s): <u>80</u> Addition: <u>Van tuyl Village</u>	
Attachments: <input type="checkbox"/> Vicinity Map (8.5"x11") <input type="checkbox"/> Written Narrative/Description of Proposal	
<input type="checkbox"/> Names, Addresses and Map of Adjoining Property Owners (From Assessor's Office)	
<input type="checkbox"/> Vested Property Rights <input type="checkbox"/> Letter/Authorization of Agent (from Owner if not applicant)	
<input checked="" type="checkbox"/> Site Plan (11"x17") to scale, includes dimensions and location of all structures, parking spaces and access, snow storage, landscaping, live cover, utility lines, road/street names, land uses of adjacent properties, setbacks. Includes a table for all dimensional requirements based on 15-7-4. (See attached sample)	
YOU ARE REQUIRED TO SUBMIT FOUR (4) COMPLETE COPIES OF YOUR APPLICATION	
Signature(s) <u>Cole C. Johnson</u>	Date <u>1/25/13</u>
For Office Use Only	
<input type="checkbox"/> Conditional Use <input type="checkbox"/> Variance <input type="checkbox"/> Zoning Amendment	
<input type="checkbox"/> Major Subdivision <input type="checkbox"/> Minor Subdivision <input type="checkbox"/> Subdivision Exemption	
<input type="checkbox"/> Mobile Home/RV Park <input type="checkbox"/> PUD <input type="checkbox"/> Vacation	
<input type="checkbox"/> Consolidated Application	



Gunnison County Abstract Company

504 North Main Street
Gunnison, Colorado 81230
970-641-0710

Agents For Chicago Title Insurance Company

SCHEDULE A COMMITMENT FOR TITLE INSURANCE

1. Effective date: **August 15, 2012 at 8:00 A.M.**

File No. **A287/80**
Commitment No. **G12-222-2**
Premium

2. Policy or policies to be issued:

A. ALTA Owner's Policy (06-17-06), Amount \$950,000.00 Proposed Insured: Drake Gunnison Partners, LLC, a Colorado limited liability company	\$	2,324.00 RI Credit - 348.00 Total = 1,976.00
B. ALTA Loan Policy (06-17-06), Amount \$ 0.00 Proposed Insured: TBD	\$	150.00
C. ALTA Loan Policy (06-17-06), Amount \$0.00 Proposed Insured:	\$	
Certificate of Taxes Due X 1	\$	10.00
Owner Endorsements Forms 110.1 (del 1-4), 100.31 (mineral endorsement)	\$	292.40
Lender Endorsements Forms 110.1 (del 1-4) form 100 form 8.1		100.00
Additional Charges (if any)	\$	
Total	\$	2,528.40

3. The estate or interest in the land described or referred to in this Commitment and covered herein is vested in:

Bank of the West

4. The estate or interest in the land described or referred to in this Commitment and covered herein is a **Fee Simple**

5. The land referred to in this Commitment is situate in the County of **Gunnison**, State of Colorado and is described as follows:

Lot 80, RE-PLAT OF LOT 80 VANTUYL VILLAGE, according to the Plat thereof recorded December 11, 2007 as Reception No. 580957,

**County of Gunnison,
State of Colorado.**

For informational purposes only, the property address is: **Vacant land, N State Highway 135, Gunnison, CO 81230**

Countersigned: _____

Gunnison County Abstract Company
Authorized Officer or Agent

Member No. **CO2189**

FOR INFORMATION OR SERVICES IN CONNECTION WITH THIS COMMITMENT, CONTACT:

Gunnison County Abstract Company, 504 North Main Street, Gunnison, Colorado 81230 970-641-0710

THIS COMMITMENT ISSUED SUBJECT TO ATTACHED STATEMENT OF TERMS, CONDITIONS AND STIPULATIONS

Gunnison County Abstract Company

Commitment No. G12-222-2

SCHEDULE B – SECTION 1 Requirements

The following are the requirements to be complied with:

- A Pay the agreed amounts for the interest in the land and/or the mortgage to be insured.
- B Pay us the premiums fees and charges for the policy.
- C Documents satisfactory to us creating the interest in the land and/or the mortgage to be insured must be signed, delivered and recorded.
- D You must tell us in writing the name of anyone not referred to in this Commitment who will get an interest in the Land or who will make a loan on the Land. We may then make additional requirements or exceptions.
- E Payment of all taxes, charges, and assessments, levied and assessed against the subject premises which are not yet due and payable.
- F A Certificate of Taxes due listing each taxing jurisdiction shall be obtained from the County treasurer or an authorized agent (pursuant to Senate Bill 92-143, CRS 10-11-122).
- G Resolution by Bank of the West authorizing the sale of the subject property and indicating the names and offices of those having authority to sign documents on behalf of the association.
- H A copy of the Operating Agreement for Drake Gunnison Partners LLC, a Colorado limited liability company naming the managing members, must be furnished to Gunnison County Abstract Company to be retained in the title file, it will not be recorded.
- I Statement of Authority pursuant to Colorado law for Drake Gunnison Partners LLC, a Colorado limited liability company showing the names and addresses of all Member(s) and signed by all Member(s).

NOTE: Additional requirements may be necessary upon review of the above Statement of Authority.
- J Deed from Bank of the West to Drake Gunnison Partners, LLC, a Colorado limited liability company.
- K Deed of Trust from Drake Gunnison Partners, LLC, a Colorado limited liability company to the Public Trustee of Gunnison County for the use of TBD to secure \$0.00.
- L Items No. 1, 2 and 3, Schedule B-Section 2 will be deleted from the owner's and loan policy when issued provided Chicago Title Insurance Company or its agent is provided with a satisfactory survey prepared by a surveyor licensed in the State of Colorado.

NOTE: The policy when issued will take Exception to any adverse matters disclosed.
- M Item No. 4, Schedule B-Section 2 will be deleted from the owner's and loan policy when issued provided the enclosed Affidavit is properly executed and returned to Chicago Title Insurance Company or it's agent.

Gunnison County Abstract Company

Member No. **CO2189**

This Commitment is invalid unless the Insuring Provisions and Schedules A & B are attached.

Gunnison County Abstract Company

Commitment No. G12-222-2

SCHEDULE B – SECTION 2

Exceptions

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

- 1 Rights or claims of parties in possession not shown by the public records.
- 2 Easements, or claims of easements, not shown by the public records.
3. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, and any facts which a correct survey and inspection of the premises would disclose and which are not shown by the public records.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.

NOTE: The Owner's policy to be issued hereunder will contain, in addition to the items set forth in Schedule B-2, the mortgage, if any, required under Schedule B-1. Upon compliance with underwriting requirements, exceptions numbered 1-4 will be omitted from the Loan Policy to be issued hereunder.

7. Any and all unpaid taxes and assessments.
8. All rights to any and all minerals, ore and metals of any kind and character and all coal, asphaltum, oil, gas and other like substances in or under said land, the right of ingress and egress for the purpose of mining, together with enough of the surface of the same as may be necessary for the proper and convenient working of such minerals and substances, and less 4.31 acres under Denver and Rio Grande Western Railroad right of way No. 92 as reserved in Patent from the State of Colorado, recorded June 1, 1936 in Book 248 at page 506.
9. Intentionally Deleted
10. Intentionally Deleted
11. Any and all easements, notes, building setbacks and other matters disclosed on the Plat of VanTuyl Village Subdivision recorded November 15, 2006 as Reception No. 570968 and on Re-Plat of Lot 80 VanTuyl Village recorded December 11, 2007 as Reception No. 580957, and on Re-plat of VanTuyl Village recorded September 23, 2011 as Reception No. 608471.

Gunnison County Abstract Company

Member No. CO2189

This Commitment is invalid unless the Insuring Provisions and Schedules A & B are attached.

DISCLOSURE STATEMENT

IF THE LAND DESCRIBED IN SCHEDULE A OF THIS COMMITMENT FOR TITLE INSURANCE IS A SINGLE FAMILY RESIDENCE (INCLUDING A CONDOMINIUM OR TOWNHOUSE UNIT), THE PROPOSED OWNER'S POLICY INSURED IS NOTIFIED:

NOTE 1: Colorado Division of Insurance Regulation 3-5-1, Section 7, Paragraph G requires that "Every title insurance company shall be responsible to the proposed insured(s), subject to the terms and conditions of the title insurance commitment, other than the effective date of the title insurance commitment, for all matters which appear of record prior to the time of recording whenever the title insurance company, or its agent, conducts the closing and settlement service that is in conjunction with its issuance of title insurance and is responsible for the recording and filing of legal documents resulting from the transaction which was closed".

NOTE 2: Exception No. 4 of Schedule B, Section 2 of the Commitment may be deleted from the policy(s) to be issued hereunder upon compliance with the following conditions:

- A. The land described in Schedule A of this commitment must be a single family residence which includes a condominium or townhouse unit.
- B. No labor or materials have been furnished by mechanics or material-men for purposes of construction on the land described in Schedule A of this Commitment within the past 13 months.
- C. The Company must receive an appropriate affidavit indemnifying the Company against unfiled mechanic's and materialmen's liens.
- D. The Company must receive payment of the appropriate premium.
- E. If there has been construction, improvements or major repairs undertaken on the property to be purchased within 13 months prior to the Date of the Commitment, the requirements to obtain coverage for unrecorded liens will include: disclosure of certain construction information; financial information as to the seller, the builder and or the contractor; payment of the appropriate premium, fully executed Indemnity Agreements satisfactory to the company, and, any additional requirements as may be necessary after an examination of the aforesaid information by the Company.
- F. Any deviation from conditions A through C above is subject to such additional requirements or information as the Company may deem necessary, or, at its option, the Company may refuse to delete the exception.

No coverage will be given under any circumstances for labor or material for which the insured has contracted for or agreed to pay.

NOTHING HEREIN CONTAINED WILL BE DEEMED TO OBLIGATE THE COMPANY TO PROVIDE ANY OF THE COVERAGES REFERRED TO HEREIN UNLESS THE ABOVE CONDITIONS ARE FULLY SATISFIED.

NOTE 3: The following disclosures are hereby made pursuant to C.R.S 10-11-122:

- A. The subject real property may be located in a special taxing district;
- B. A certificate of taxes due listing each taxing jurisdiction shall be obtained from the County Treasurer or the County Treasurer's authorized agent; and
- C. Information regarding special districts and the boundaries of such districts may be obtained from the Board of County Commissioners, the County Clerk and Recorder, or the County Assessor.

NOTE 4: Any claim which arises out of the transaction vesting in the insured the estate or interest insured by the policy or policies to be issued hereunder, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws.

NOTE 5: If Schedule B of your commitment for an owner's title policy reflects an exception for mineral interests or leases, pursuant to CRS 10-11-123 (HB 01-1088), this is to advise:

- A. That there is recorded evidence that a mineral estate has been severed, leased, or otherwise conveyed from the surface estate and that there is a substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and
- B. That such mineral estate may include the right to enter and use the property without the surface owner's permission. C.R.S. § 10-11-123(2)

NOTE 6: If the sales price of the subject property exceeds \$100,000.00 seller shall be required to comply with the disclosure or withholding provisions of C.R.S. 39-22-604.5 (Nonresident Withholding).

NOTE 7: Effective September 1, 1997, C.R.S. 30-10-406 requires that all documents received for recording or filing in the Clerk and Recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one-half of an inch. The Clerk and Recorder may refuse to record or file any document that does not conform, except that, the requirement for the top margin shall not apply to documents using forms on which space is provided for recording or filing information at the top margin of the document.

Gunnison County Abstract Company

Member No. **CO2189**

This Commitment is invalid unless the Insuring Provisions and Schedules A & B are attached.

ACCOUNT NO: R045067

GUNNISON COUNTY TREASURER

ASSESSED TO:

Melody Marks
221 N Wisconsin Suite T
Gunnison, CO 81230BANK OF THE WEST, C/O R
BOSSET NC B07 3E1

2527 CAMINO RAMON

SAN RAMON, CA 945834411

(970) 641-2231

LEGAL DESCRIPTION:

LOT 80 REPLAT OF LOT 80 VANTUYL VILLAGE SUBD
#609409

PARCEL: 370136232001

SITUS ADD: N STATE HIGHWAY 135

TAX YEAR	CHARGE	TAX AMOUNT	INTEREST	PEN, FEES	TOTAL DUE
2012	Ad Valorem	\$13,356.44	\$0.00	\$0.00	\$13,356.44
				TOTAL TAXES	\$13,356.44

PAID

\$0.00

GRAND TOTAL DUE GOOD THROUGH 1/1/2013

\$13,356.44

TAX LIENS MUST BE PAID WITH CERTIFIED FUNDS AND MUST BE RECEIVED IN OUR OFFICE ON OR BEFORE THE LAST BUSINESS DAY OF EACH MONTH. POSTMARKS ARE NOT ACCEPTED FOR PAYMENTS WITH TAX LIENS.

----- DETACH HERE -----

BALANCE DUE NOTICE

REMITTANCE COUPON

CASH OR CERTIFIED FUNDS ARE REQUIRED

GUNNISON COUNTY TREASURER

Melody Marks
221 N Wisconsin Suite T
Gunnison, CO 81230

- If you would like a receipt, please check this box.
- Check this box for address correction. Make changes below.

BANK OF THE WEST, C/O R
BOSSET NC B07 3E1
2527 CAMINO RAMON
SAN RAMON, CA 945834411ACCOUNT NO: R045067
TAX AMOUNT DUE: \$13,356.44
PAYMENT DUE BY: 1/1/2013



nama partners llc
 6140 Greenwood Plaza Blvd.
 Greenwood Village, CO 80111
 Phone: 720.289.0001

HCI ENGINEERING
 810 Brickyard Circle, Unit #3
 Golden, CO 80403
 Phone: 720.252.3484
 Fax: 303.278.7814

PROJECT LOCATION:
BLUE MESA SHOPPING CENTER
 135TH & VANTUYL CIRCLE
LOT 80, RE-PLAT OF LOT 80, VANTUYL VILLAGE
 RECEPTION NO. 580957
 CITY OF GUNNISON
 GUNNISON, COLORADO

DRAKE
 REAL ESTATE SERVICES
 496 S. BROADWAY
 DENVER, CO 80209
 TEL. 303.825.6200
 WWW.DRAKERES.COM

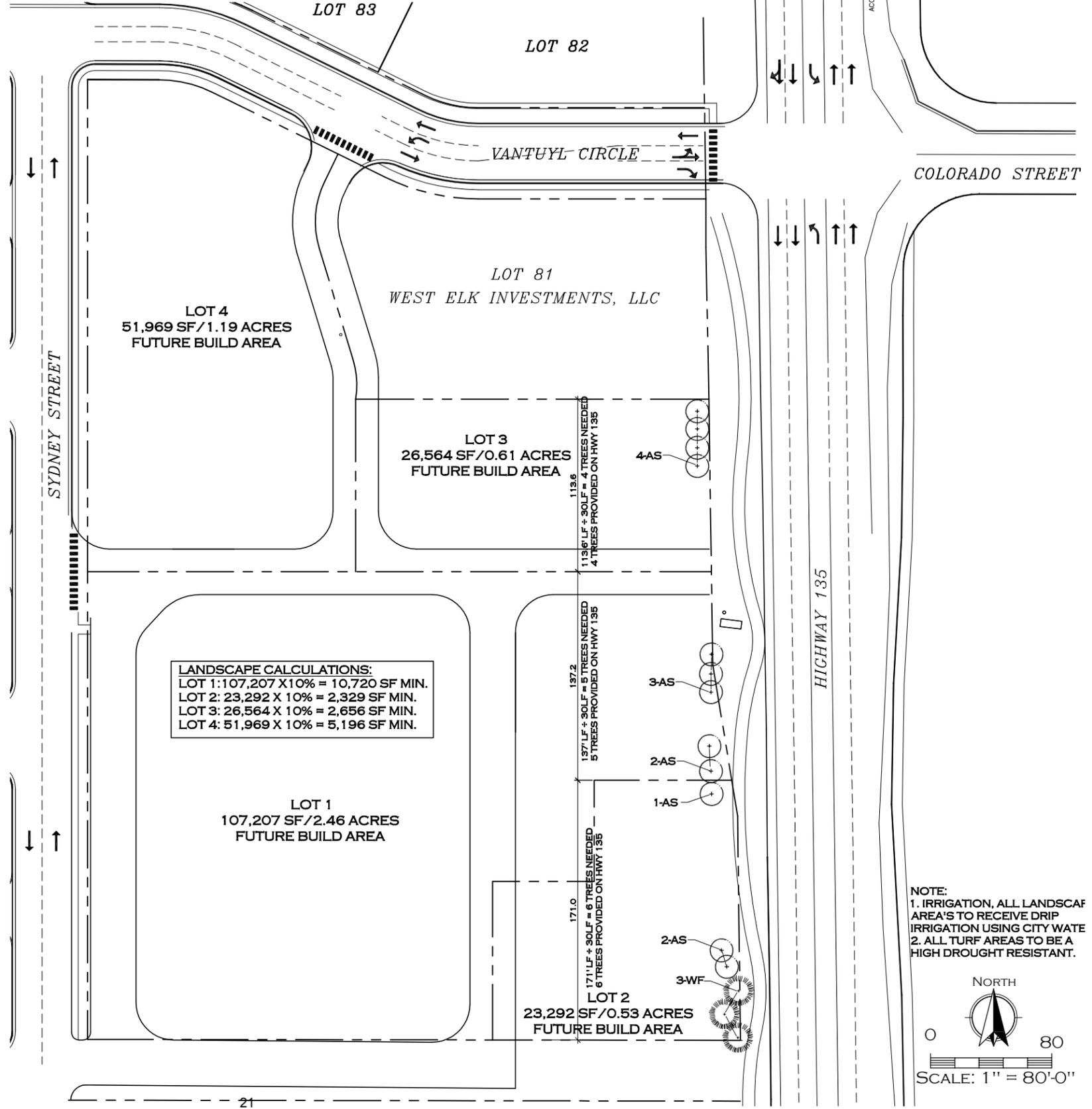
REVISIONS: DATE:
 SKETCH PLAN APP. 10-24-2012
 PRELIM. PLAN 11-19-2012
 PLANNING & ZONING 01-25-2013

NAMA PROJECT #: 12-123.10
 DATE: 10-17-2012

PROJECT TITLE:
LANDSCAPING PLAN

SHEET NUMBER:

BLUE MESA SHOPPING CENTER
 135TH & VANTUYL CIRCLE
LOT 80, RE-PLAT OF LOT 80, VANTUYL VILLAGE
 RECEPTION No. 580957
 CITY OF GUNNISON, GUNNISON, COLORADO



LANDSCAPE CALCULATIONS:
 LOT 1: 107,207 X 10% = 10,720 SF MIN.
 LOT 2: 23,292 X 10% = 2,329 SF MIN.
 LOT 3: 26,564 X 10% = 2,656 SF MIN.
 LOT 4: 51,969 X 10% = 5,196 SF MIN.

LEGEND

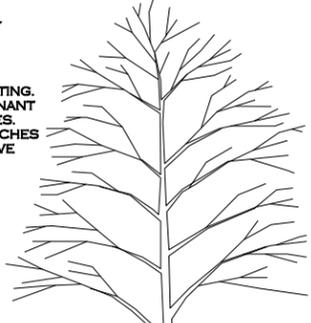
- ORNAMENTAL/DECIDUOUS TREE
- EVERGREEN TREE

TREE LIST:

KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES/REMARKS
DECIDUOUS TREES				
AS	POPULUS TREMULOIDES	ASPEN	2" CAL. MIN.	B&B, FULL, STRAIGHT
EVERGREEN TREES				
WF	ABIES CONCOLOR	WHITE FIR	6' HT. MIN.	B&B, FULL & BUSHY

NOTE:
 TREES SHOWN ARE AT MAX. SIZE DIA.
 ALL TREE SIZES TO CONFORM TO CITY REQUIREMENTS.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.



MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2 INCHES HIGHER IN SLOWLY DRAINING SOILS.

4 IN. COBBLE/MULCH. DO NO PLACE COBBLE/MULCH IN CONTACT WITH TREE TRUNK, MAINTAIN THE MULCH WEED-FREE FOR A MINIMUM OF THREE YEARS AFTER PLANTING.

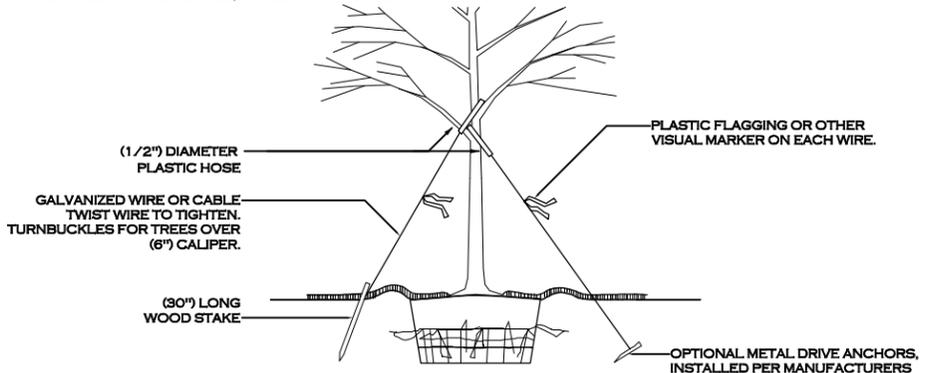
TREE PLANTING DETAIL

WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:
 TREES UP TO (2.5 IN) CALIPER - 14 GAUGE
 TREES (2.5 IN) TO (3 IN) CALIPER - 12 GAUGE

TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE (1.5 IN) OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE.

TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.

INSTALL THREE GUY WIRES PER TREE, SPACED EVENLY AROUND THE TRUNK.



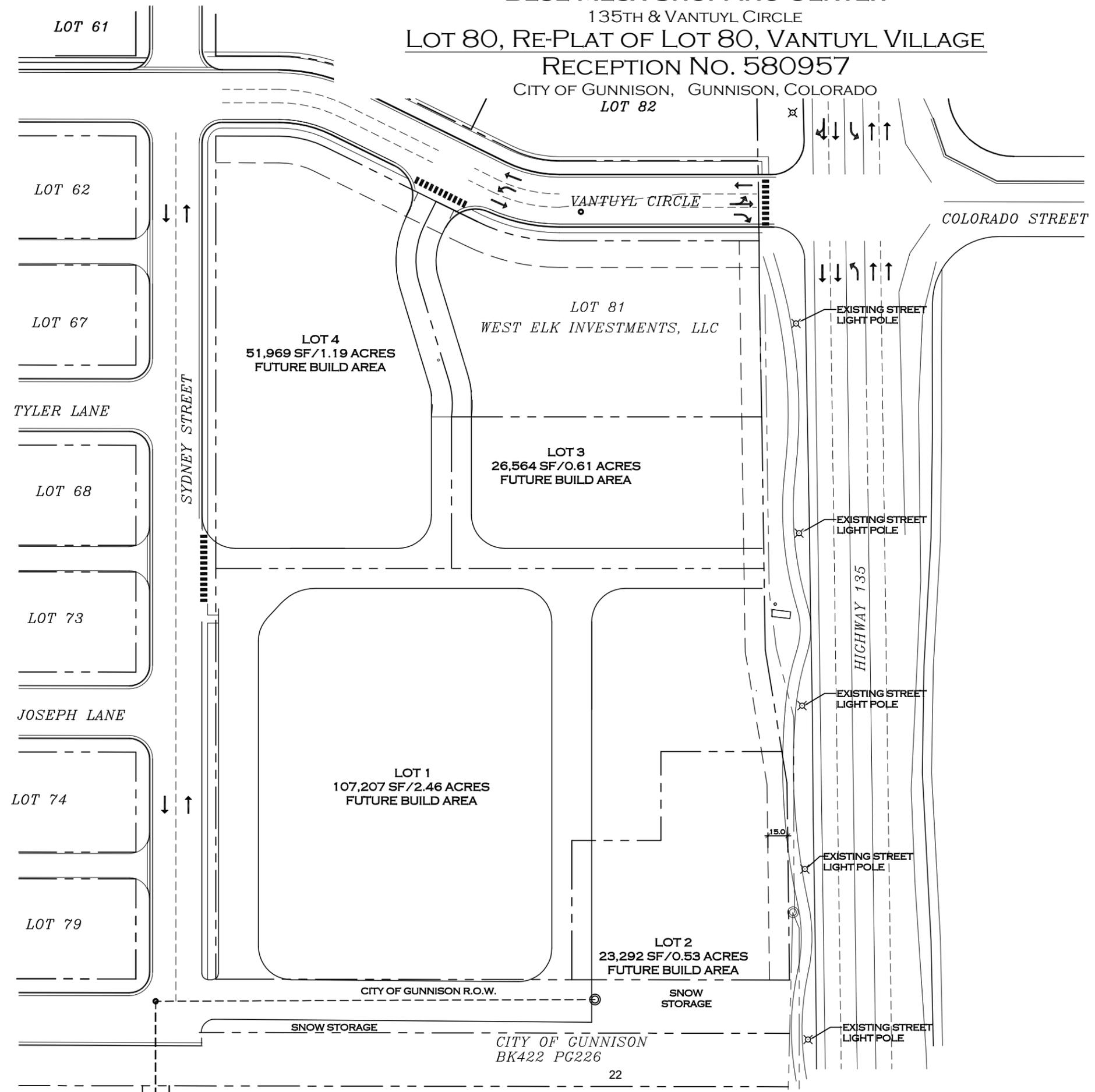
ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.

ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM OF (0.5 IN).

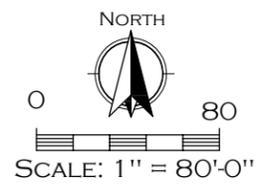
REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

TREE STAKING DETAIL

BLUE MESA SHOPPING CENTER
 135TH & VANTUYL CIRCLE
LOT 80, RE-PLAT OF LOT 80, VANTUYL VILLAGE
 RECEPTION NO. 580957
 CITY OF GUNNISON, GUNNISON, COLORADO



CITY OF GUNNISON
BK422 PG226



nama
partners llc

6140 Greenwood Plaza Blvd.
Greenwood Village, CO 80111
Phone: 720.289.0001

HCI
ENGINEERING

810 Brickyard Circle, Unit #3
Golden, CO 80403
Phone: 720.252.3484
Fax: 303.278.7814

PROJECT LOCATION:
BLUE MESA SHOPPING CENTER
 135TH & VANTUYL CIRCLE
LOT 80, RE-PLAT OF LOT 80, VANTUYL VILLAGE
 RECEPTION NO. 580957
 CITY OF GUNNISON
 GUNNISON, COLORADO

DRAKE
REAL ESTATE SERVICES

496 S. BROADWAY
DENVER, CO 80209
TEL. 303.825.6200
WWW.DRAKERES.COM

REVISIONS:	DATE:
SKETCH PLAN APP.	10-24-2012
PRELIM. PLAN	11-19-2012
PLANNING & ZONING	01-25-2013

NAMA PROJECT #: 12-123.10
 DATE: 10-17-2012

PROJECT TITLE:
STREET LIGHTING PLAN

SHEET NUMBER:

BLUE MESA SHOPPING CENTER SUBDIVISION PLANS

LOCATED AT
135TH & VANTUYL CIRCLE
LOT 80, RE-PLAT OF LOT 80, VANTUYL VILLAGE
RECEPTION NO. 580957
CITY OF GUNNISON
STATE OF COLORADO



DESIGN TEAM:

OWNER / DEVELOPER:

DRAKE REAL ESTATE SERVICES, INC.
ATTN: JON HAUSER
496 S. BROADWAY
DENVER, CO 80209
PH: 303-825-6200

SURVEYOR:

PEARSON SURVEYING
ATTN: TIM PEARSON
P.O. BOX 652
GUNNISON, CO 81230
PH: 970-641-2910

JURISDICTION CONTACTS:

CITY OF GUNNISON:

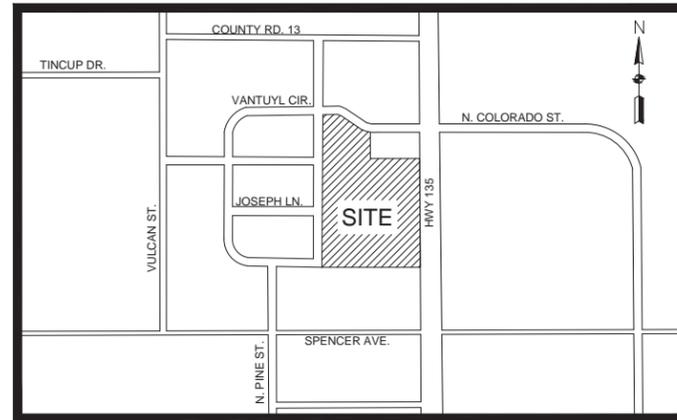
STEVE WESTBAY - 970-641-8152
ANDIE RUGGERA - 970-641-8154
TERRY ZERGER - 970-209-4880

ENGINEER:

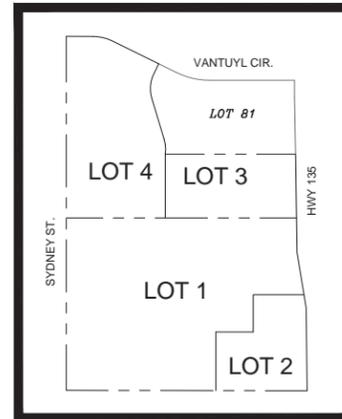
HCI ENGINEERING
A DIVISION OF HABERER CARPENTRY INC.
ATTN: COLE HABERER PE
810 BRICKYARD CIR, SUITE 3
GOLDEN, CO 80403
PH: 720-252-3484

ARCHITECT:

NAMA PARTNERS, LLC
ATTN: MIKE BRETTMANN
6140 GREENWOOD PLAZA
GREENWOOD VILLAGE, CO 80111
PH: 303-514-3434



VIN MAP
N.T.S.



KEY MAP
N.T.S.

SHEET INDEX	
C1.0 - COVER	1 OF 11
C1.1 - EXISTING CONDITIONS	2 OF 11
C1.2 - SUBDIVISION SITE PLAN	3 OF 11
C1.3 - SUBDIVISION GRADING PLAN	4 OF 11
C1.4 - GRADING PLAN SECTIONS	5 OF 11
C1.5 - SUBDIVISION UTILITY PLAN	6 OF 11
C1.6 - IRRIGATION DITCH PLAN/PROFILE	7 OF 11
C1.7 - SUBDIVISION DRY UTILITY PLAN	8 OF 11
C1.8 - SUBDIVISION DRAINAGE PLAN	9 OF 11
C1.9 - SUBDIVISION DETAIL 1	10 OF 11
C1.10 - SUBDIVISION DETAIL 2	11 OF 11

LEGEND

	PRO CURB & GUTTER (SPILL)
	PRO CURB & GUTTER (CATCH)
	PRO IRRIGATION
	EXISTING STORM SEWER
	PRO SANITARY SEWER
	EXISTING SANITARY SEWER
	PRO WATER LINE / SERVICE LINE
	EXISTING WATER LINE
	PRO GAS LINE
	EXISTING GAS LINE
	PRO ELECTRICAL
	EXISTING ELECTRICAL
	EXISTING ELECTRICAL BOX
	EXISTING SITE LIGHT
	EXISTING SIGN
	EXISTING MANHOLES
	PRO MANHOLE
	EXISTING INLETS
	PRO INLETS
	PRO GATE VALVE
	PRO THRUST BLOCK
	PRO CLEAN OUT
	PRO SLOPE
	EXISTING SLOPE
	PRO CONTOURS
	PRO CONTOURS MAJOR
	EXISTING CONTOURS
	EXISTING CONTOURS MAJOR
	PROPOSED SPOT SHOT
	EXISTING SPOT SHOT
	PUBLIC ASPHALT
	PRIVATE ASPHALT
	DETAIL CALLOUT
	DETAIL SHEET #
	DETAIL LABEL

SITE NOTES:

1. PROPERTY LOCATED BY FIELD MEASUREMENTS TO FOUND MONUMENTS SHOWN. BASIS OF BEARING IS N 00°00'00" E BETWEEN FOUND MONUMENT AT THE SOUTHWEST CORNER OF LOT 80 AND A SIMILAR MONUMENT AT THE NORTHWEST CORNER OF LOT 84.

2. ELEVATIONS - ELEVATIONS ARE BASED ON AN ELEVATION OF 7727.39' AT FOUND SPIKE IN POWER POLE AT THE NORTHWEST CORNER OF VULCAN AND COUNTY ROAD NO. 13 PER CITY OF GUNNISON ENGINEER. THE ELEVATIONS SHOWN HEREON REFLECT ONLY THE LAST FOUR DIGITS OF THE ACTUAL ELEVATION. (EXAMPLE - 7727.39' IS SHOWN AS 27.39) CONTOUR INTERVAL IS 1 FOOT.

3. UTILITIES - THE LOCATIONS OF THE UNDERGROUND UTILITIES WAS OBTAINED AS FOLLOWS:

A) SEWER LINES LOCATED BY VISIBLE EVIDENCE SUPPLEMENTED BY INFORMATION ON THE SANITARY SEWAGE COLLECTION SYSTEM PLAN PREPARED BY WILLIAMS ENGINEERING.

B) WATER LINES LOCATED BY VISIBLE EVIDENCE SUPPLEMENTED BY INFORMATION ON THE WATER DISTRIBUTION SYSTEM PLAN PREPARED BY WILLIAMS ENGINEERING.

C) UNDERGROUND GAS AND ELECTRIC LINES WITHIN THE CITY OF GUNNISON PROPERTY WERE LOCATED BY VISIBLE EVIDENCE AND BY PREVIOUS LOCATION FLAGS IN EXISTENCE AT TIME OF SURVEY.

UNDERGROUND PHONE LINES WITHIN VANTUYL VILLAGE WERE LOCATED BY MEASUREMENTS TO EXISTING PEDESTALS/RISERS SUPPLEMENTED BY INFORMATION PROVIDED BY BOB GYDESEN. ALL WEATHER EARTHWORKS, THE CONTRACTOR RESPONSIBLE FOR THE SUBDIVISION CONSTRUCTION OF VANTUYL VILLAGE.

UNDERGROUND PHONE LINES WITHIN THE HIGHWAY ROW WERE LOCATED DURING PREVIOUS WORK BY PEARSON SURVEYING, AT WHICH TIME LOCATION FLAGS WERE FIELD MEASURED.

ALL OTHER UNDERGROUND LINES AS SHOWN ARE APPROXIMATE. FOR COMPLETE AND ACCURATE UNDERGROUND UTILITY LOCATIONS, AN UNDERGROUND UTILITY LOCATE NEEDS TO BE CONDUCTED, EITHER BY THE UTILITY PROVIDERS, OR BY AN INDEPENDENT UTILITY LOCATING CONTRACTOR.

4. ZONING - THE CURRENT ZONING OF THE SUBJECT PROPERTY IS COMMERCIAL.

5. ADDRESS - THE ADDRESS HAS NOT BEEN DETERMINED OR IS NOT REVEALED IN THE PUBLIC RECORD.

6. TITLE EXCEPTIONS - INFORMATION BASED ON TITLE COMMITMENT NO. G12-222-1, PREPARED BY GUNNISON COUNTY ABSTRACT COMPANY, DATED AUGUST 15, 2012, WHICH WAS PROVIDED BY CLIENT.

A) RIGHT OF WAY DESCRIBED IN BOOK 248 AT PAGE 506 (EXCEPTION NO. 8) IS A BLANKET EASEMENT, AFFECTING THE ENTIRE W1/4NW1/4 OF SECTION 36.

B) RIGHT OF WAY AND EASEMENT DESCRIBED IN BOOK 344 AT PAGE 150 (EXCEPTION NO. 9) DOES NOT AFFECT SUBJECT PROPERTY BECAUSE IT IS 30 FOOT WIDE STRIP ALONG THE WEST LINE OF SECTION 36, AND SAID WEST LINE IS OVER 700 FEET WEST OF THE SUBJECT PROPERTY.

C) RIGHT OF WAY DESCRIBED IN BOOK 545 AT PAGE 840 (EXCEPTION NO. 10) DOES NOT AFFECT SUBJECT PROPERTY BECAUSE THE TRACT DESCRIBED LIES OVER 250 FEET WEST OF THE SUBJECT PROPERTY.

7. DITCHES - ALL DITCHES SHOWN ARE NOT MAINTAINED AND APPEAR TO BE ABANDONED.

STANDARD NOTES:

1. CONTRACTOR SHALL COMPLETE A PRE-CONSTRUCTION SURVEY TO VERIFY EXISTING CONDITIONS, ELEVATIONS AND UTILITIES.

2. CONTRACTOR SHALL MAKE NO ASSUMPTIONS. CONTACT ENGINEER IN WRITING WITH ALL QUESTIONS AND RFIS.

3. CONTRACTOR IS RESPONSIBLE FOR TIMELY NOTIFICATION OF ALL NEEDED SITE VISITS FROM THE ENGINEER.

4. CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDED BUT NOT LIMITED TO EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.

5. DIMENSIONS FOR LAYOUT AND CONSTRUCTION SHALL NOT BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE ENGINEER FOR NEEDED INFORMATION.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A DISPOSAL SITE FOR ANY UNSUITABLE MATERIAL FROM THIS SITE.

7. CONTRACTOR SHALL HAVE 1 COPY OF ALL STAMPED AND APPROVED PLANS, CITY SPECS, CDOT SPECS, & OTHER CONSTRUCTION DOCUMENT ON SITE AT ALL TIMES.

8. CONTRACTOR SHALL OBTAIN AND USE THE CITY OF GUNNISON SPECS IN BIDDING THIS PROJECT. CONTRACTOR SHALL REFERENCE THESE SPECS FOR ALL DETAIL NOT SHOWN ON THE PLANS.

9. ALL PAVEMENT MARKINGS REQUIRED FOR THE PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR.

10. THE CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL AS-BUILT INFO ON A SET OF RECORD DRAWINGS KEPT ON SITE. AS-BUILT INFO SHALL BE MARKED IN RED INK AND BE LEGIBLE. CONTRACTOR SHALL PROVIDE COPIES OF THE AS-BUILTS TO BOTH ENGINEER OF RECORD AND CITY.

11. PROVIDE FORM CHECKS OF ALL CURB AND GUTTER AND DRAINAGE PANS, PRIOR TO POURING CONCRETE. NOTIFY ENGINEER OF ANY SUMP LOCATIONS OR LOW POINT THAT WILL NOT DRAIN.

12. PROVIDE FOUNDATION CERTIFICATION VERIFYING AS-BUILT SLAP ELEVATION.

13. PROVIDE PAD CERTIFICATION OF ALL LOTS AND OVERLOT GRADED CONDITIONS. VERIFY THAT AS-GRADED OVERLOT CONDITIONS ARE WITHIN 0.1 FT OF THE THE PLANS.

14. CONTRACTOR SHALL PROVIDE AN AS-BUILT ILC UPON COMPLETION OF THE PROJECT SHOWING ALL AS CONSTRUCTED CONDITIONS.

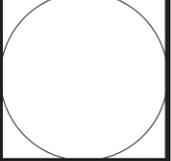
HCI ENGINEERING

A DIVISION OF
HABERER CARPENTRY INC.

810 BRICKYARD CIRCLE, UNIT 3
GOLDEN CO. 80403
PH: 720-252-3484 FAX: 303-278-7814
EMAIL: COLEH@HABERERGROUP.COM

**DO NOT SCALE
THESE PLANS**

HCI ENGINEERING
A DIVISION OF
HABERER CARPENTRY INC.
810 BRICKYARD CIR., UNIT #3
GOLDEN CO. 80403
INFO@HABERERGROUP.COM



BLUE MESA SHOPPING CENTER
LOCATED AT
135TH & VANTUYL CIRCLE
LOT 80, RE-PLAT OF LOT 80, VANTUYL VILLAGE
RECEPTION NO. 580957
CITY OF GUNNISON STATE OF COLORADO.
FOR
DRAKE GUNNISON PARTNERS LLC
486 SOUTH BROADWAY
DENVER, CO 80209

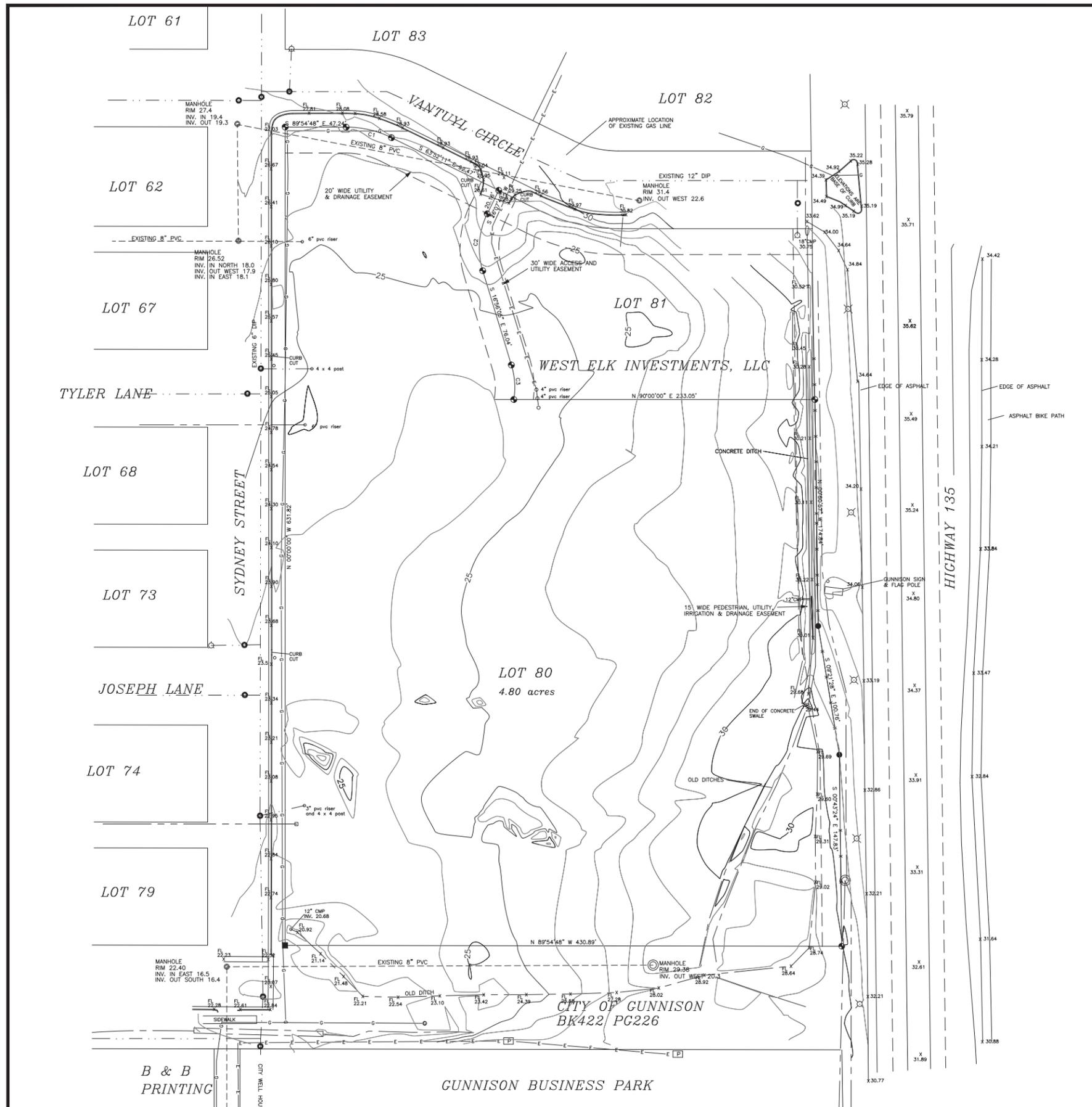
ISSUE	DATE
SKETCH PLAN	10/12/12
PRELIM PLAT	12/14/12
FINAL PLAT	01/25/13

DRAWN BY	CHK BY
CCH	CCH
PLOT DATE:	1/25/2013

**SUBDIVISION
COVER**

C1.0

FOR INFO ONLY



- NOTES:
- Property located by field measurements to found monuments shown. Basis of bearing is N 00°00'00" E between found monument at the southwest corner of Lot 80 and a similar monument at the northwest corner of Lot 84.
 - ELEVATIONS - Elevations are based on an elevation of 7727.39' at found spike in power pole at the northwest corner of Vulcan and County Road No. 13 per City of Gunnison Engineer. The elevations shown herein reflect only the last four digits of the actual elevation. (Example - 7727.39' is shown as 27.39') Contour interval is 1 foot.
 - UTILITIES - The locations of the underground utilities was obtained as follows:
 - Sewer lines located by visible evidence supplemented by information on the Sanitary Sewage Collection System Plan prepared by Williams Engineering.
 - Water lines located by visible evidence supplemented by information on the Water Distribution System plan prepared by Williams Engineering.
 - Underground gas and electric lines within the City of Gunnison property were located by visible evidence and by previous location flags in existence at time of survey.

Underground phone lines within Vantuyl Village were located by measurements to existing pedestals/risers supplemented by information provided by Bob Gydesen. All Weather Earthworks, the contractor responsible for the subdivision construction of Vantuyl Village.

Underground phone lines within the Highway ROW were located during previous work by Pearson Surveying, at which time location flags were field measured.

All other underground lines as shown are approximate.

For complete and accurate underground utility locations, an underground utility locate needs to be conducted, either by the utility providers, or by an independent utility locating contractor.
 - ZONING - the current zoning of the subject property is Commercial.
 - ADDRESS - the address has not been determined or is not revealed in the public record.
 - TITLE EXCEPTIONS - Information based on Title Commitment No. G12-222-1, prepared by Gunnison County Abstract Company, dated August 15, 2012, which was provided by client.
 - Right of way described in Book 248 at page 506 (Exception No. 8) is a blanket easement, affecting the entire W1/4NW1/4 of Section 36.
 - Right of way and easement described in Book 344 at page 150 (Exception No. 9) does not affect subject property because it is 30 foot wide strip along the west line of Section 36, and said west line is over 700 feet west of the subject property.
 - Right of way described in Book 545 at page 840 (Exception No. 10) does not affect subject property because the tract described lies over 250 feet west of the subject property.
 - DITCHES - all ditches shown are not maintained and appear to be abandoned.

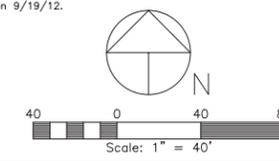
CURVE TABLE				
NUMBER	ARC LENGTH	RADIUS	CHORD DIRECTION	CHORD LENGTH
C1	36.36	80.00	S 78°53'30" E	36.05
C2	45.10	60.00	S 04°35'52" W	44.04
C3	26.99	60.00	S 04°02'50" E	26.76

- LEGEND
- Found 3.25" aluminum cap monument stamped "LS 34979"
 - Found rebar with plastic cap stamped "LS 34979"
 - Steel ROW fence post
 - Utility pedestal
 - Overhead utility lines
 - Fence
 - x Street light
 - ⊕ Power vault
 - Underground phone line
 - Manhole
 - Underground sewer line
 - Water valve
 - Underground water line
 - Fire hydrant
 - Curb & gutter
 - E Underground electric line
 - G Underground gas line

SURVEYOR'S CERTIFICATE

To Drake Gunnison Partners, LLC, Bank of the West, Gunnison County Abstract Company,
 This is to certify that this map or plat and the survey on which it is based were made in accordance with 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6, 8, 9, 8, 11, & 17 of Table A thereof. The field work was completed on 9/19/12.

Date: _____
 Timothy E. Pearson
 P.L.S. No. 34979



ALTA/ACSM SURVEY
 LOT 80, RE-PLAT OF LOT 80, VANTUYL VILLAGE
 ACCORDING TO THE PLAT THEREOF (RECEPTION NO. 580957)
 CITY OF GUNNISON
 GUNNISON COUNTY, COLORADO

PEARSON SURVEYING P.O. BOX 652 GUNNISON, CO 81230 970-641-2910 PROJECT # 12-1-6	DATE : 9/7/12 LATEST REVISION DATE : 10/31/12
---	--

SHEET 1 OF 1

HCI ENGINEERING

A DIVISION OF
HABERER CARPENTRY INC.
 810 BRICKYARD CIR., UNIT #3
 GOLDEN CO. 80403
 INFO@HABERERGROUP.COM

BLUE MESA SHOPPING CENTER
 LOCATED AT
 138TH & VANTUYL CIRCLE
 LOT 80, RE-PLAT OF LOT 80, VANTUYL VILLAGE
 RECEPTION NO. 580957
 CITY OF GUNNISON, STATE OF COLORADO.
 FOR
DRAKE GUNNISON PARTNERS LLC
 486 SOUTH BROADWAY
 DENVER, CO 80209

ISSUE	DATE
SKETCH PLAN	10/12/12
PRELIM PLAT	12/14/12
FINAL PLAT	01/25/13

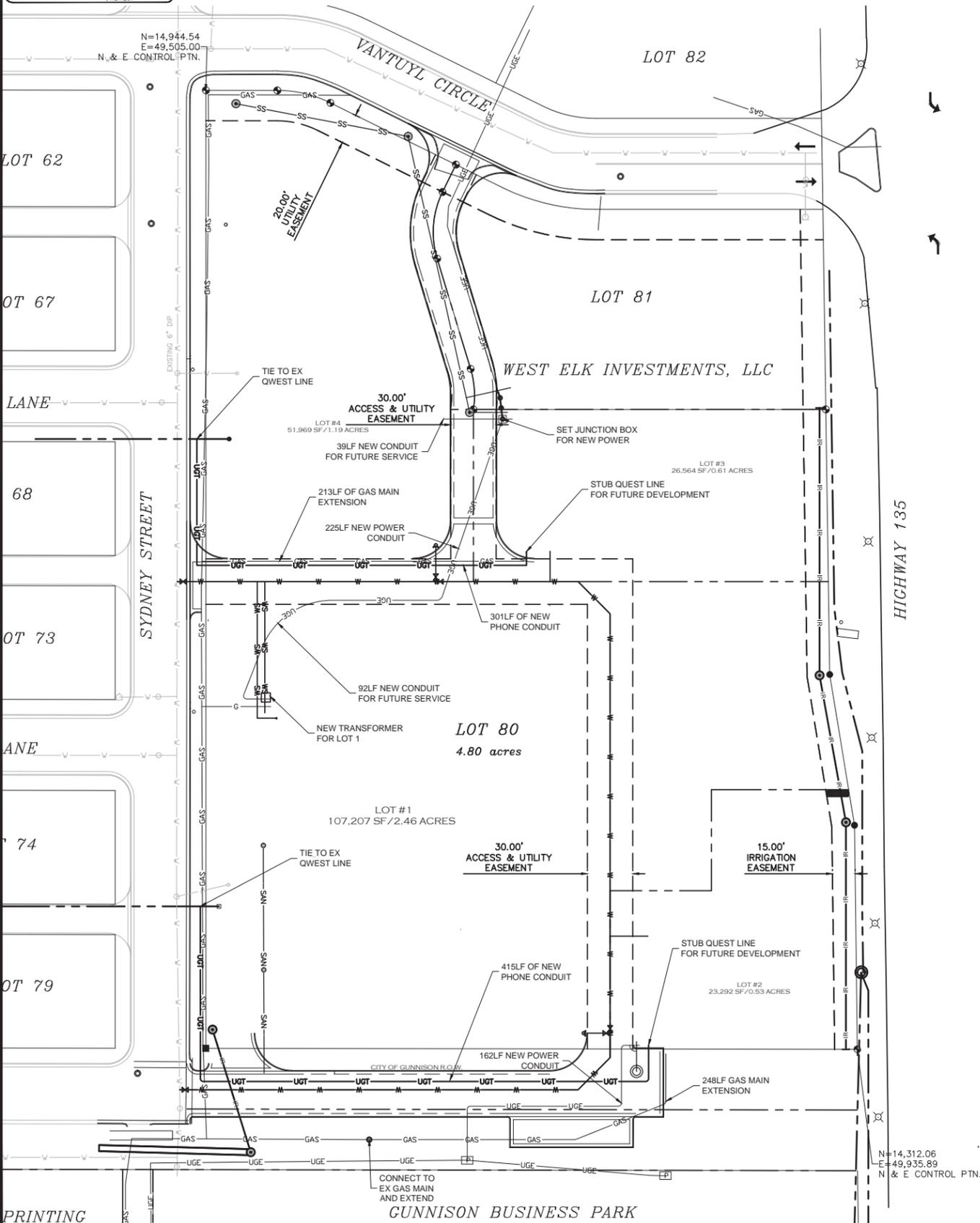
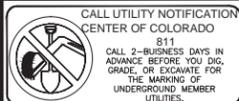
DRAWN BY: CHK BY

CCH CCH

DATE: 1/25/2013

EXISTING
CONDITIONS

C1.1



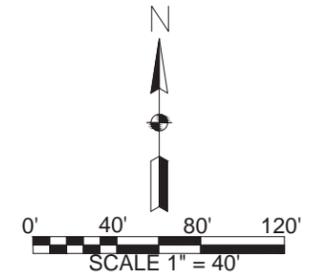
- GENERAL NOTES:**
1. ALL MATERIALS TO BE PER THE CITY OF GUNNISON CONSTRUCTION STANDARDS.
 2. FINAL LAYOUT FOR GAS, AND PHONE SHALL BE PER THE PROVIDERS DESIGN.

PRINTING

GUNNISON BUSINESS PARK

N=14,312.06
E=49,935.89
N & E CONTROL PTN.

LEGEND ON COVER



HCI ENGINEERING
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810 BRICKYARD CR., UNIT #3
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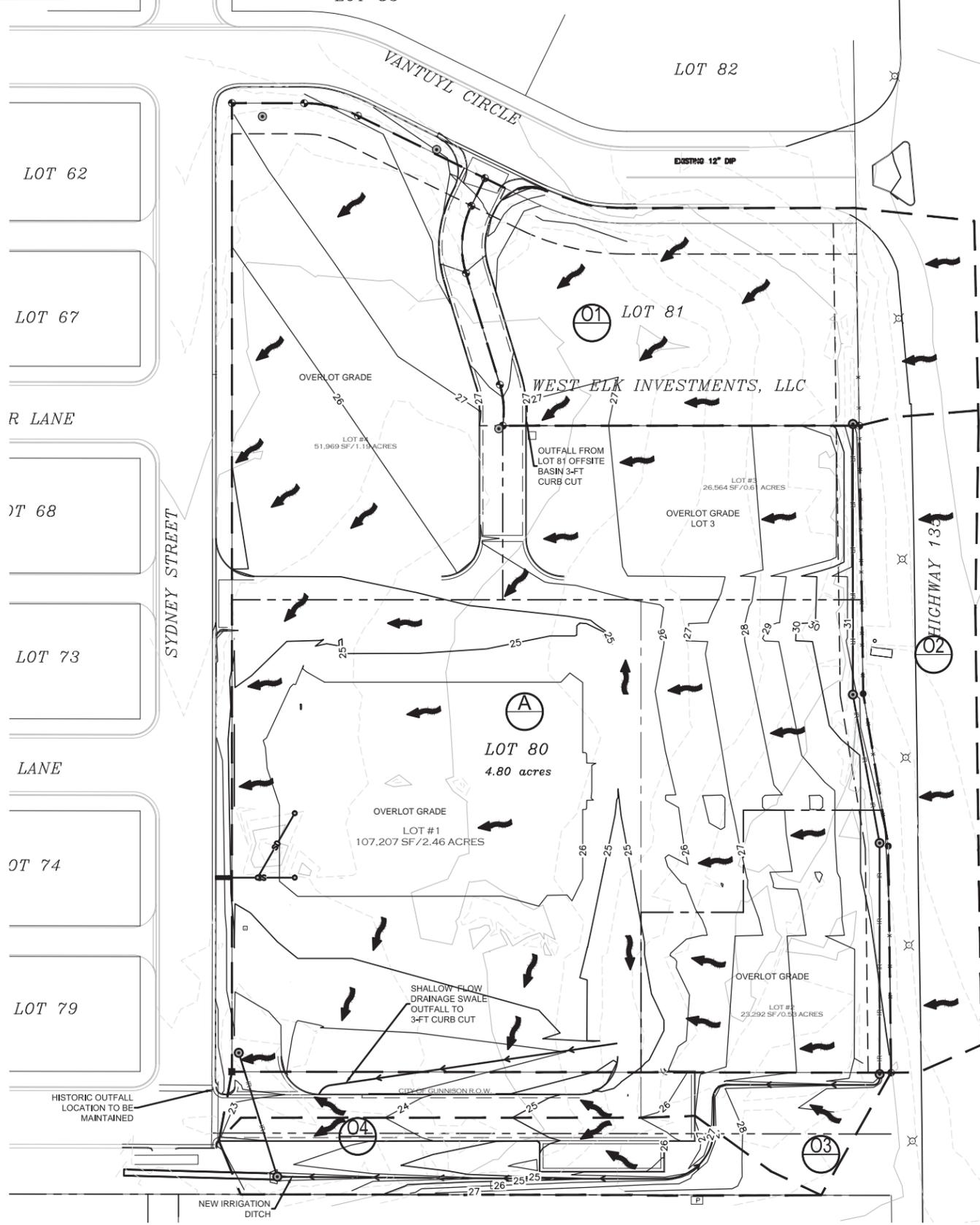
BLUE MESA SHOPPING CENTER
LOCATED AT
135TH & VANTUYL CIRCLE
LOT 80, RE-PLAT OF LOT 80, VANTUYL VILLAGE
RECEPTION NO. 586857
CITY OF GUNNISON, STATE OF COLORADO.
DRAKE GUNNISON PARTNERS LLC
496 SOUTH BROADWAY
DENVER, CO 80209

ISSUE	DATE
SKETCH PLAN	10/12/12
PRELIM PLAT	12/14/12
FINAL PLAT	01/25/13

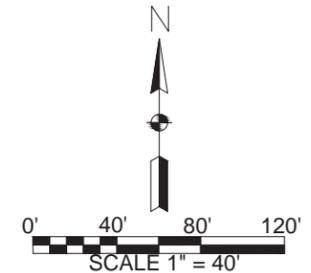
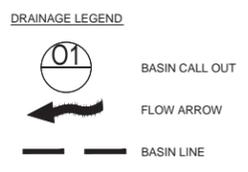
DRAWN BY	CHK BY
CCH	CCH
PLOT DATE:	1/25/2013
SUBDIVISION DRY UTILITY PLAN	

C1.7

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
811
CALL 2-BUSINESS DAYS IN
ADVANCE BEFORE YOU DIG,
GRADE, OR EXCAVATE FOR
THE MARKING OF
UNDERGROUND MEMBER
UTILITIES.



- DRAINAGE FLOWS**
1. DRAINAGE OUTFALL SHALL BE MAINTAINED.
 2. EACH LOT SHALL PROVIDE A DRAINAGE CONFORMANCE LETTER ILLUSTRATING COMPLIANCE WITH THE MASTER STUDY.
 3. IF INDIVIDUAL LOT DEVELOPMENT DOES NOT COMPLY WITH APPROVE DRAINAGE STUDIES ONSITE WATER QUALITY AND DETENTION SHALL BE PROVIDED FOR THE EXCESS DRAINAGE.



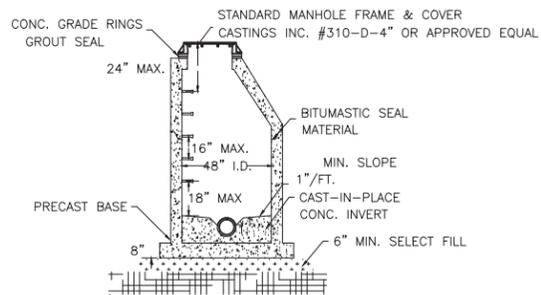
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DENVER, CO 80209

ISSUE	DATE
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FINAL PLAT	01/25/13

DRAWN BY	CHK BY
CCH	CCH
PLOT DATE: 1/30/2013	
SUBDIVISION DRAINAGE PLAN	

C1.8



STANDARD MANHOLE DRAWING
(SEWER, STORM, IRRIGATION)

NO SCALE

MANHOLE NOTES

1. MANHOLE RISER BARREL PIPE, CONES, FLAT TOPS AND GRADE RINGS SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 OR AASHTO M-199.
2. ALL CEMENT BASES, CONCRETE BASES, GRADE RINGS, BARREL SECTIONS, CONES, AND FLAT TOPS FOR SANITARY SEWERS SHALL BE TYPE IV OR MODIFIED TYPE II PORTLAND CEMENT WITH LESS THAN 5% TRICALCIUM ALUMINATE.
3. FOR PIPE SIZES GREATER THAN 24\"/>

1
C1.9

CAST-IN-PLACE BASE

1. THE CONTRACTOR MAY LAY PIPE THROUGH THE BASE AND REMOVE THE CROWN OF THE PIPE AFTER POURING THE BASE.

PRECAST BASE

1. EXTEND PIPE 1\"/>

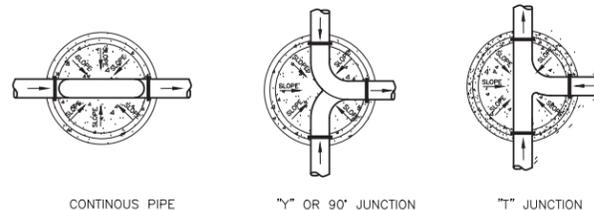
BITUMINOUS WATER STOP OR FOR CAST-IN-PLACE BASES CIRCULAR CONNECTOR

- 2\"/>

PIPE ENTRANCE

NO SCALE

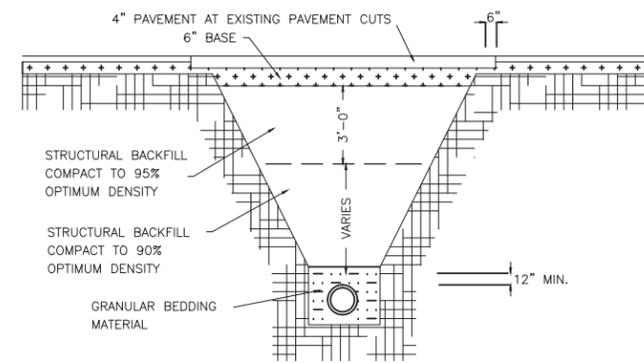
2
C1.9



STANDARD MANHOLE INVERT DRAWING

NO SCALE

3
C1.9



TRENCH WIDTH NOTES:

1. INSIDE DIAMETER PIPE < 33\"/>

BACKFILL NOTES:

- THE CONTRACTOR MAY SUBSTITUTE FLOW-FILL IN THE TOP 3\"/>

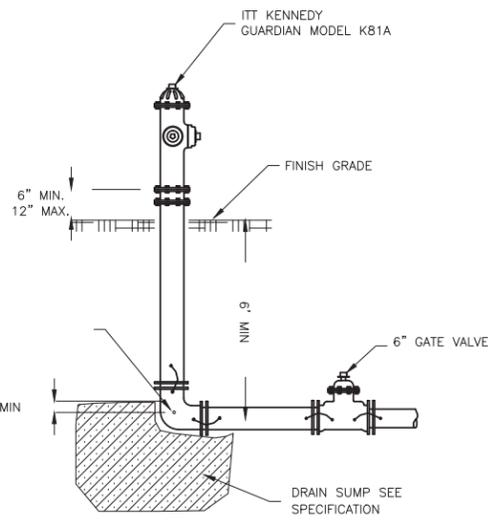
PAVEMENT PATCHING NOTES:

1. EXISTING PAVEMENT TO BE CUT STRAIGHT 6\"/>

STANDARD TRENCH DRAWING

NO SCALE

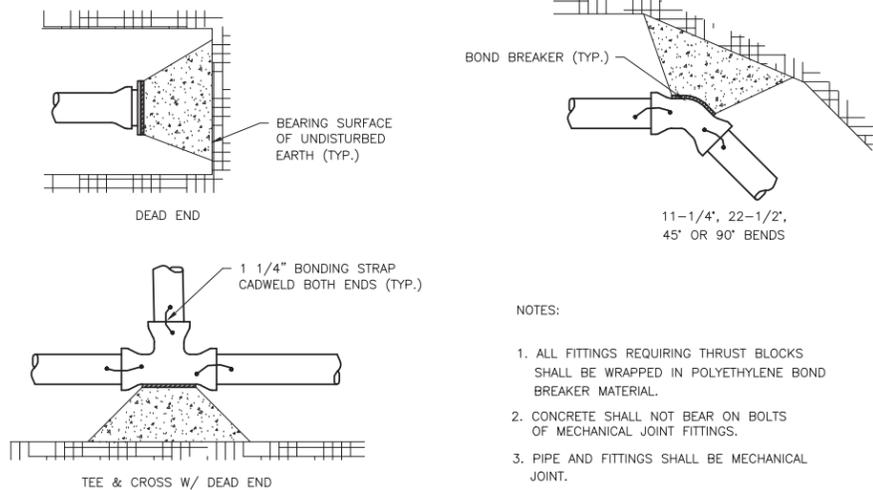
6
C1.9



STANDARD FIRE HYDRANT

NO SCALE

4
C1.9



THRUST BLOCK DRAWING

NO SCALE

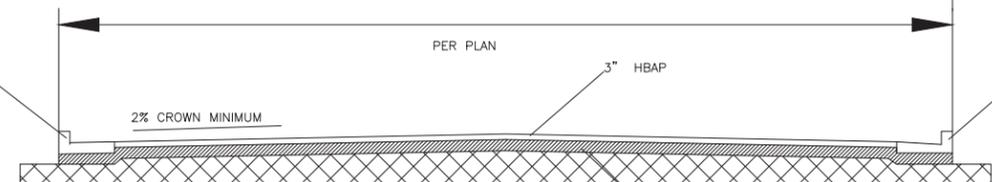
5
C1.9

NOTES:

1. ALL FITTINGS REQUIRING THRUST BLOCKS SHALL BE WRAPPED IN POLYETHYLENE BOND BREAKER MATERIAL.
2. CONCRETE SHALL NOT BEAR ON BOLTS OF MECHANICAL JOINT FITTINGS.
3. PIPE AND FITTINGS SHALL BE MECHANICAL JOINT.

PROVIDE PIPE RESTRAINT AS SHOWN FOR DEAD END PIPE. EITHER METHOD ACCEPTABLE.

CITY STANDARD 2'-6\"/>



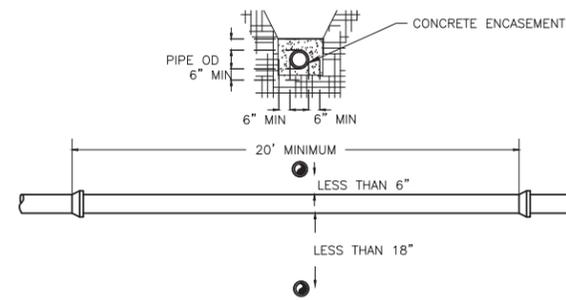
ROAD DESIGN THIS AREA BASED ON LAMBERT REPORT FROM ADJACENT PROPERTY

1. STRIP, SCARIFY AND COMPACT SUBGRADE
2. PLACE AND COMPACT 10\"/>

TYPICAL ROW ROAD SECTION

NO SCALE

7
C1.9



SANITARY SEWER-WATER MAIN CROSSING

NO SCALE

IF THE WATER MAIN IS LESS THAN 6\"/>

8
C1.9

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LOCATED AT
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LOT 80, RE-PLAT OF LOT 80, VANTUYL VILLAGE
RECEPTION NO. 586857
CITY OF GUNNISON, STATE OF COLORADO, FOR
DRAKE GUNNISON PARTNERS LLC
496 SOUTH BROADWAY
DENVER, CO 80209

ISSUE	DATE
SKETCH PLAN	10/12/12
PRELIM PLAT	12/14/12
FINAL PLAT	01/25/13

1040-00000 Engineering Engineering
Professional Seal
1040-00000 Engineering Engineering
Professional Seal

DRAWN BY	CHK BY
CCH	CCH

PLOT DATE: 1/25/2013

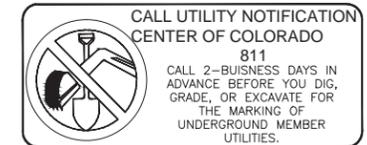
**SUBDIVISION
DETAIL**

C1.9

CDOT ACCESS PERMIT NO. 312141

STATE HIGHWAY 135 AT VAN TUYL VILLAGE SUBDIVISION

LOCATED AT
ACCESS IS LOCATED 850' SOUTH OF MILE POST 1.
ALL IMPROVEMENTS ARE LOCATED WITHIN THE
NW 1/4 SECTION 36, T50, R1W N.M.P.M.



DESIGN TEAM:
OWNER / DEVELOPER:
DRAKE REAL ESTATE SERVICES, INC.
ATTN: JON HAUSER
496 S. BROADWAY
DENVER, CO 80209
PH: 303-825-6200

ENGINEER:
HCI ENGINEERING
A DIVISION OF HABERER CARPENTRY INC.
ATTN: COLE HABERER, PE
810 BRICKYARD CIR, SUITE 3
GOLDEN, CO 80403
PH: 720-252-3484

SURVEYOR:
PEARSON SURVEYING
ATTN: TIM PEARSON
P.O. BOX 652
GUNNISON, CO 81230
PH: 970-641-2910

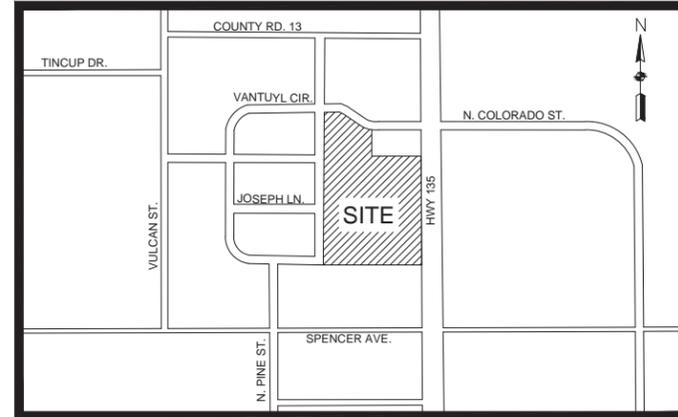
ARCHITECT:
NAMA PARTNERS, LLC
ATTN: MIKE BRETTMANN
6140 GREENWOOD PLAZA
GREENWOOD VILLAGE, CO 80111
PH: 303-514-3434

JURISDICTION CONTACTS:

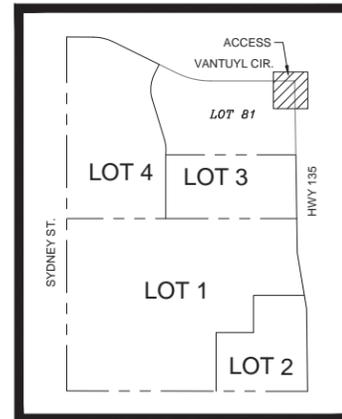
CITY OF GUNNISON:
STEVE WESTBAY - 970-641-8152
ANDIE RUGGERA - 970-641-8154
TERRY ZERGER - 970-209-4880

NOTES:

- PROPERTY LOCATED BY FIELD MEASUREMENTS TO FOUND MONUMENTS SHOWN. BASIS OF BEARING IS N 00°00'00" E BETWEEN FOUND MONUMENT AT THE SOUTHWEST CORNER OF LOT 80 AND A SIMILAR MONUMENT AT THE NORTHWEST CORNER OF LOT 84.
- ELEVATIONS - ELEVATIONS ARE BASED ON AN ELEVATION OF 7727.39' AT FOUND SPIKE IN POWER POLE AT THE NORTHWEST CORNER OF VULCAN AND COUNTY ROAD NO. 13 PER CITY OF GUNNISON ENGINEER. THE ELEVATIONS SHOWN HEREON REFLECT ONLY THE LAST FOUR DIGITS OF THE ACTUAL ELEVATION. (EXAMPLE - 7727.39' IS SHOWN AS 27.39') CONTOUR INTERVAL IS 1 FOOT.
- UTILITIES - THE LOCATIONS OF THE UNDERGROUND UTILITIES WAS OBTAINED AS FOLLOWS:
 - A) SEWER LINES LOCATED BY VISIBLE EVIDENCE SUPPLEMENTED BY INFORMATION ON THE SANITARY SEWAGE COLLECTION SYSTEM PLAN PREPARED BY WILLIAMS ENGINEERING.
 - B) WATER LINES LOCATED BY VISIBLE EVIDENCE SUPPLEMENTED BY INFORMATION ON THE WATER DISTRIBUTION SYSTEM PLAN PREPARED BY WILLIAMS ENGINEERING.
 - C) UNDERGROUND GAS AND ELECTRIC LINES WITHIN THE CITY OF GUNNISON PROPERTY WERE LOCATED BY VISIBLE EVIDENCE AND BY PREVIOUS LOCATION FLAGS IN EXISTENCE AT TIME OF SURVEY.
- UNDERGROUND PHONE LINES WITHIN VANTUYL VILLAGE WERE LOCATED BY MEASUREMENTS TO EXISTING PEDESTALS/RISERS SUPPLEMENTED BY INFORMATION PROVIDED BY BOB GYDESEN, ALL WEATHER EARTHWORKS, THE CONTRACTOR RESPONSIBLE FOR THE SUBDIVISION CONSTRUCTION OF VANTUYL VILLAGE.
- UNDERGROUND PHONE LINES WITHIN THE HIGHWAY ROW WERE LOCATED DURING PREVIOUS WORK BY PEARSON SURVEYING, AT WHICH TIME LOCATION FLAGS WERE FIELD MEASURED.
- ALL OTHER UNDERGROUND LINES AS SHOWN ARE APPROXIMATE. FOR COMPLETE AND ACCURATE UNDERGROUND UTILITY LOCATIONS, AN UNDERGROUND UTILITY LOCATE NEEDS TO BE CONDUCTED, EITHER BY THE UTILITY PROVIDERS, OR BY AN INDEPENDENT UTILITY LOCATING CONTRACTOR.
- ZONING - THE CURRENT ZONING OF THE SUBJECT PROPERTY IS COMMERCIAL.
- ADDRESS - THE ADDRESS HAS NOT BEEN DETERMINED OR IS NOT REVEALED IN THE PUBLIC RECORD.
- TITLE EXCEPTIONS - INFORMATION BASED ON TITLE COMMITMENT NO. G12-222-1, PREPARED BY GUNNISON COUNTY ABSTRACT COMPANY, DATED AUGUST 15, 2012, WHICH WAS PROVIDED BY CLIENT.
 - A) RIGHT OF WAY DESCRIBED IN BOOK 248 AT PAGE 506 (EXCEPTION NO. 8) IS A BLANKET EASEMENT, AFFECTING THE ENTIRE W1/4NW1/4 OF SECTION 36.
 - B) RIGHT OF WAY AND EASEMENT DESCRIBED IN BOOK 344 AT PAGE 150 (EXCEPTION NO. 9) DOES NOT AFFECT SUBJECT PROPERTY BECAUSE IT IS 30 FOOT WIDE STRIP ALONG THE WEST LINE OF SECTION 36, AND SAID WEST LINE IS OVER 700 FEET WEST OF THE SUBJECT PROPERTY.
 - C) RIGHT OF WAY DESCRIBED IN BOOK 545 AT PAGE 840 (EXCEPTION NO. 10) DOES NOT AFFECT SUBJECT PROPERTY BECAUSE THE TRACT DESCRIBED LIES OVER 250 FEET WEST OF THE SUBJECT PROPERTY.
- DITCHES - ALL DITCHES SHOWN ARE NOT MAINTAINED AND APPEAR TO BE ABANDONED.



VIN MAP
N.T.S.



KEY MAP
N.T.S.

HCI ENGINEERING

A DIVISION OF
HABERER CARPENTRY INC.

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EMAIL: COLEH@HABERERGROUP.COM

SHEET INDEX	
AP1 - COVER	1 OF 6
AP2 - NOTES / CDOT STANDARDS	2 OF 6
AP3 - EXISTING CONDITIONS	3 OF 6
AP4 - TYPICAL SECTIONS	4 OF 6
AP5 - PROPOSED / PROFILE PLAN	5 OF 6
AP6 - SIGNAGE / MARKINGS / TURNING PLAN	6 OF 6

LEGEND	
	PRO CURB & GUTTER (SPILL)
	PRO CURB & GUTTER (CATCH)
	PRO STORM SEWER/ IRRIGATION
	EXISTING STORM SEWER
	PRO SANITARY SEWER
	EXISTING SANITARY SEWER
	PRO WATER LINE / SERVICE LINE
	EXISTING WATER LINE
	PRO GAS LINE
	EXISTING GAS LINE
	PRO ELECTRICAL
	EXISTING ELECTRICAL
	EXISTING ELECTRICAL BOX
	EXISTING SITE LIGHT
	EXISTING SIGN
	EXISTING MANHOLES
	PRO MANHOLE
	EXISTING INLETS
	PRO INLETS
	PRO GATE VALVE
	PRO THRUST BLOCK
	PRO CLEAN OUT
	PRO SLOPE
	EXISTING SLOPE
	PRO CONTOURS
	PRO CONTOURS MAJOR
	EXISTING CONTOURS
	EXISTING CONTOURS MAJOR
	PROPOSED SPOT SHOT
	EXISTING SPOT SHOT

PROFESSIONAL STAMP:

TRACTOR SUPPLY COMPANY
 CORE & SHELL
 AT BLUE MESA SHOPPING CENTER
 GUNNISON, COLORADO



PROJECT LOCATION:

DRAKE
REAL ESTATE SERVICES
496 S. BROADWAY
DENVER, CO 80209
TEL. 303.825.6200
WWW.DRAKERES.COM

REVISIONS: DATE:
TSC 1ST REVIEW 01-09-13
TSC 2ND REVIEW 01-24-13

PROJECT #: 12-123.30
DRAWN BY: MWB
REVIEWED BY: HC
SCALE: AS SHOWN
DATE: JAN. 9, 2013

PROJECT TITLE:
COVER

SHEET NUMBER:

AP 1

DO NOT SCALE
THESE PLANS

TRACTOR SUPPLY
REVIEW SET: JAN. 24, 2013

GENERAL NOTES:

1. ALL MATERIALS, EQUIPMENT, INSTALLATION AND CONSTRUCTION WITHIN THE STATE HIGHWAY ROW SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING STANDARD REFERENCES AS APPLICABLE:

- A. CDOT MATERIALS MANUAL
- B. CDOT CONSTRUCTION MANUAL
- C. CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION
- D. CDOT STANDARD PLANS (M&S STANDARDS)
- E. FHWWA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS AND THE COLORADO SUPPLEMENT THERETO
- F. AASHTO ROADSIDE DESIGN GUIDE

2. ACCESS CONSTRUCTION WITHIN HIGHWAY ROW AND ALL HIGHWAY IMPROVEMENTS SHALL COMPLY WITH THE ACCESS PERMIT AND NOTICE TO PROCEED (NTP). A COPY OF THE PERMIT AND NTP SHALL BE AVAILABLE ON THE CONSTRUCTION SITE AT ALL TIMES.

3. PERMITTEE SHALL DESIGNATE A CERTIFIED TRAFFIC CONTROL SUPERVISOR (TCS) TO MANAGE CONSTRUCTION SIGNAGE AND SAFETY OF OPERATIONS DURING ACTIVITIES WITHIN CDOT RIGHT OF WAY. THE TCS SHALL BE AVAILABLE WHENEVER WORK IS IN PROGRESS.

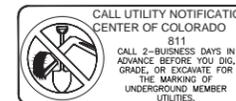
4. ACCESS CONSTRUCTION SHALL NOT NEGATIVELY IMPACT PRIVATE PROPERTY OR THE STATE HIGHWAY ROW.

6. THE ENGINEER OF RECORD IS RESPONSIBLE FOR ALL EROSION CONTROL ELEMENTS.

7. THE PERMITTEE SHALL COMPLETE ALL WORK IN THE CDOT RIGHT OF WAY WITHIN 45 CALENDAR DAYS AND WITHIN A SINGLE CONSTRUCTION SEASON.

8. RESEEDING OF FOR MAINTENANCE TOUCH-UP WORK SHALL USE THE FOLLOWING SEED MIX:

"SODAR" STREAMBANK WHEATGRASS	12.0
"SAN LUIS" SLENDER WHEATGRASS	3.0
"ARRIBA" WESTERN WHEATGRASS	8.0
"COVAR" SHEEP FESCUE	3.0
"BROMAR" OR "GRANITE" MOUNTAIN BROME	7.0
TOTAL	20.5



PLAN NUMBER	M STANDARD TITLE	PAGE NUMBER	PLAN NUMBER	M STANDARD TITLE	PAGE NUMBER	PLAN NUMBER	S STANDARD TITLE	PAGE NUMBER
M-100-1	STANDARD SYMBOLS (3 SHEETS)	1-3	M-607-1	WIRE FENCES AND GATES (3 SHEETS)	100-102	S-612-1	DELIMITER INSTALLATIONS (7 SHEETS)	151-157
M-100-2	ACRONYMS AND ABBREVIATIONS (4 SHEETS)	4-7	M-607-2	CHAIN LINK FENCE (3 SHEETS)	103-105	S-614-1	GROUND SIGN PLACEMENT (2 SHEETS)	158-159
M-203-1	APPROACH ROADS	8	M-607-3	BARRIER FENCE	106	S-614-2	CLASS I SIGNS	160
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Computer File Information		Sheet Revisions		Colorado Department of Transportation 4201 East Arkansas Avenue Denver, Colorado 80222 Phone: (303) 757-9803 Fax: (303) 757-9820 Project Development Branch DD/LTA	STANDARD PLAN NO.								
Creation Date: 07/04/12	Initiator: DD	Date:	Comments:										
Last Modification Date: 07/04/12	Initiator: LTA												
<table border="1"> <tr> <td colspan="2">TABLE OF CONTENTS</td> <td colspan="2">STANDARD PLAN NO.</td> </tr> <tr> <td colspan="2">Issued By: Project Development Branch July 4, 2012</td> <td colspan="2">Sheet No. 1 of 1</td> </tr> </table>				TABLE OF CONTENTS		STANDARD PLAN NO.		Issued By: Project Development Branch July 4, 2012		Sheet No. 1 of 1			
TABLE OF CONTENTS		STANDARD PLAN NO.											
Issued By: Project Development Branch July 4, 2012		Sheet No. 1 of 1											

CONTRACTOR SHALL HAVE A COPY OF ALL CDOT MS STANDARDS & HIGHWAY SECS ON SITE AS REQUIRED BY CDOT. REFER TO THE CHECKED DETAILS FOR MORE INFO.

LEGEND

	PRO CURB & GUTTER (SPILL)
	PRO CURB & GUTTER (CATCH)
	PRO STORM SEWER / IRRIGATION
	EXISTING STORM SEWER
	PRO SANITARY SEWER
	EXISTING SANITARY SEWER
	PRO WATER LINE / SERVICE LINE
	EXISTING WATER LINE
	PRO GAS LINE
	EXISTING GAS LINE
	PRO ELECTRICAL
	EXISTING ELECTRICAL
	EXISTING ELECTRICAL BOX
	EXISTING SITE LIGHT
	EXISTING SIGN
	PRO MANHOLE
	EXISTING MANHOLES
	PRO INLETS
	EXISTING INLETS
	PRO GATE VALVE
	PRO THRUST BLOCK
	PRO CLEAN OUT
	PRO SLOPE
	EXISTING SLOPE
	PRO CONTOURS
	EXISTING CONTOURS
	PRO CONTOURS MAJOR
	EXISTING CONTOURS MAJOR
	PROPOSED SPOT SHOT
	EXISTING SPOT SHOT

PROFESSIONAL STAMP:

TRACTOR SUPPLY COMPANY
 CORE & SHELL
 AT BLUE MESA SHOPPING CENTER
 GUNNISON, COLORADO



REVISIONS:	DATE:
TSC 1ST REVIEW	01-09-13
TSC 2ND REVIEW	01-24-13

PROJECT #: 12-123.30
 DRAWN BY: MWB
 REVIEWED BY: HC
 SCALE: AS SHOWN
 DATE: JAN. 9, 2013

PROJECT TITLE:
 NOTES /
 CDOT MS

SHEET NUMBER:
AP2

DO NOT SCALE THESE PLANS

TRACTOR SUPPLY
 REVIEW SET: JAN. 24, 2013



LEGEND

	PRO CURB & GUTTER (SPILL)
	PRO CURB & GUTTER (CATCH)
	PRO STORM SEWER
	EXISTING STORM SEWER
	PRO SANITARY SEWER
	EXISTING SANITARY SEWER
	PRO WATER LINE / SERVICE LINE
	EXISTING WATER LINE
	PRO GAS LINE
	EXISTING GAS LINE
	PRO ELECTRICAL
	EXISTING ELECTRICAL
	EXISTING ELECTRICAL BOX
	EXISTING SITE LIGHT
	EXISTING SIGN
	EXISTING MANHOLES
	PRO MANHOLE
	EXISTING INLETS
	PRO INLETS
	PRO GATE VALVE
	PRO THRUST BLOCK
	PRO CLEAN OUT
	PRO SLOPE
	EXISTING SLOPE
	PRO CONTOURS
	PRO CONTOURS MAJOR
	EXISTING CONTOURS
	EXISTING CONTOURS MAJOR
	PROPOSED SPOT SHOT
	EXISTING SPOT SHOT

PROFESSIONAL STAMP:

PROJECT LOCATION:
**TRACTOR SUPPLY COMPANY
CORE & SHELL
AT BLUE MESA SHOPPING CENTER
GUNNISON, COLORADO**



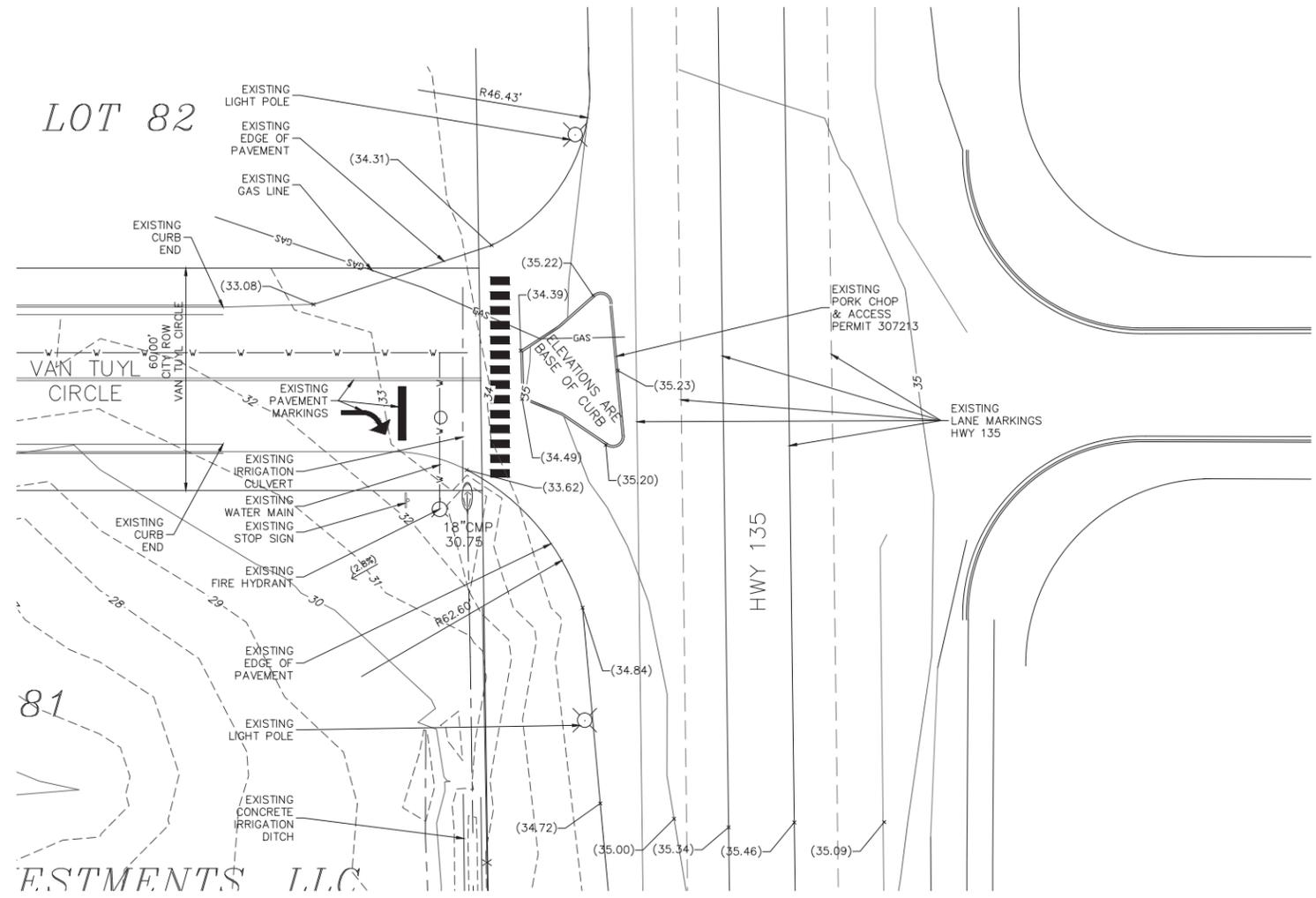
DRAKE
REAL ESTATE SERVICES
496 S. BROADWAY
DENVER, CO 80209
TEL. 303.825.6200
WWW.DRAKERES.COM

REVISIONS:	DATE:
TSC 1ST REVIEW	01-09-13
TSC 2ND REVIEW	01-24-13

PROJECT #: 12-123.30
DRAWN BY: MWB
REVIEWED BY: HC
SCALE: AS SHOWN
DATE: JAN. 9, 2013

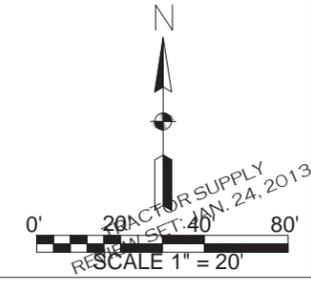
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**EXISTING
CONDITIONS**

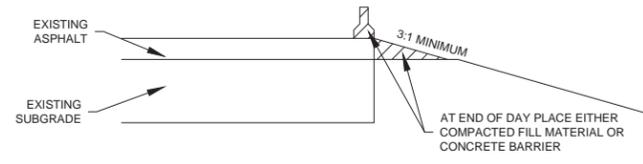
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AP3



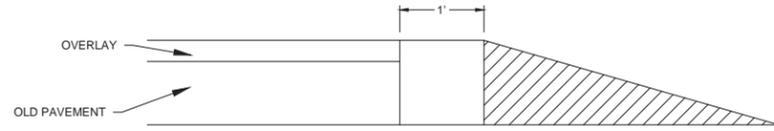
- NOTES:**
- NO SIDEWALK SHALL BE INSTALLED WITH A CROSS SLOPE GREATER THAN 2 PERCENT.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - CONTRACTOR SHALL VERIFY THAT SLOPES WITH DESIGNATED ADA AREAS COMPLY WITH ALL ADA REQUIREMENTS (NO MORE THAN 2.0% CROSS-SLOPE AND 5% IN THE DIRECTION OF TRAVEL.)
 - SPOT SHOTS ARE TO FLOW LINE UNLESS STATED OTHERWISE.
 - MAX SLOPE TO BE 3:1.

**DO NOT SCALE
THESE PLANS**

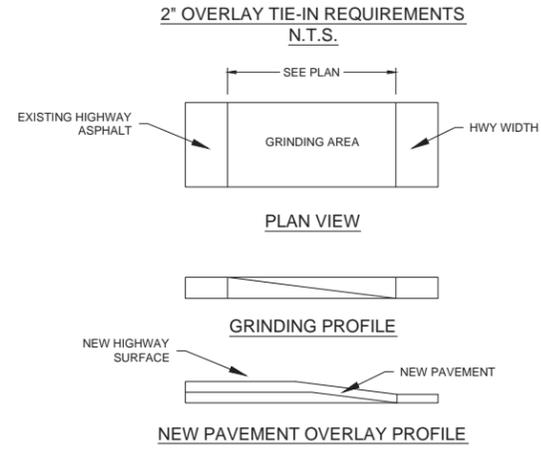




EDGE TREATMENT FOR HIGHWAY VERTICAL CUT
N.T.S.



HIGHWAY SHOULDER
N.T.S.



2" OVERLAY TIE-IN REQUIREMENTS
N.T.S.

NOTES:

1. ALONG EXISTING HIGHWAY PAVEMENT - REMOVE 8" OF EXISTING SUBGRADE AND REPLACE WITH 8" OF CLASS 6 SUBGRADE COMPACTED TO 95%.
2. CDOT MUST APPROVE THE ASPHALT MIX DESIGN PRIOR TO CONSTRUCTION. THE PERMITTEE'S ENGINEER OF RECORD SHALL COORDINATE WITH THE CDOT PERMIT CONTACT PERSON (970-683-6284) TO OBTAIN APPROVAL.
3. BREAK POINTS ON SLOPES AND IN BOTTOMS OF DITCHES SHALL BE ROUNDED DURING CONSTRUCTION
4. MOISTURE DENSITY CONTROL FOR THIS PROJECT SHALL BE AASHTO T99 FULL DEPTH OF ALL EMBANKMENTS AND 6 INCHES IN BASES OF CUTS AND FILLS

**DO NOT SCALE
THESE PLANS**

TRACTOR SUPPLY
REVIEW SET: JAN. 24, 2013

PROFESSIONAL STAMP:

PROJECT LOCATION:
TSC
TRACTOR SUPPLY COMPANY
CORE & SHELL
AT BLUE MESA SHOPPING CENTER
GUNNISON, COLORADO

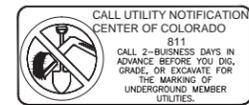
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TEL. 303.825.6200
WWW.DRAKERES.COM

REVISIONS:	DATE:
TSC 1ST REVIEW	01-09-13
TSC 2ND REVIEW	01-24-13

PROJECT #: 12-123.30
DRAWN BY: MWB
REVIEWED BY: HC
SCALE: AS SHOWN
DATE: JAN. 9, 2013

PROJECT TITLE:
TYPICAL
SECTIONS

SHEET NUMBER:
AP4



LEGEND

	PRO CURB & GUTTER (SPILL)
	PRO CURB & GUTTER (CATCH)
	PRO STORM SEWER
	EXISTING STORM SEWER
	PRO SANITARY SEWER
	EXISTING SANITARY SEWER
	PRO WATER LINE / SERVICE LINE
	EXISTING WATER LINE
	PRO GAS LINE
	EXISTING GAS LINE
	PRO ELECTRICAL
	EXISTING ELECTRICAL
	EXISTING ELECTRICAL BOX
	EXISTING SITE LIGHT
	EXISTING SIGN
	EXISTING MANHOLES
	PRO MANHOLE
	EXISTING INLETS
	PRO INLETS
	PRO GATE VALVE
	PRO THRUST BLOCK
	PRO CLEAN OUT
	PRO SLOPE
	EXISTING SLOPE
	PRO CONTOURS
	PRO CONTOURS MAJOR
	EXISTING CONTOURS
	EXISTING CONTOURS MAJOR
	PROPOSED SPOT SHOT
	EXISTING SPOT SHOT

PROFESSIONAL STAMP:

TRACTOR SUPPLY COMPANY
CORE & SHELL
AT BLUE MESA SHOPPING CENTER
GUNNISON, COLORADO



PROJECT LOCATION:

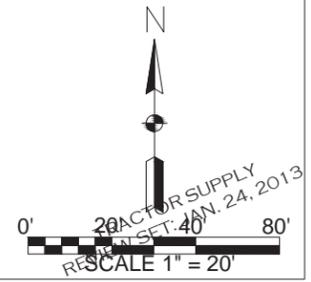
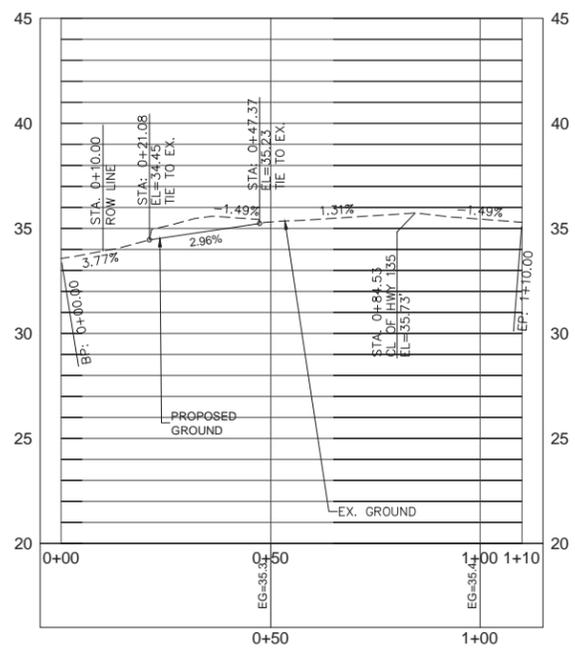
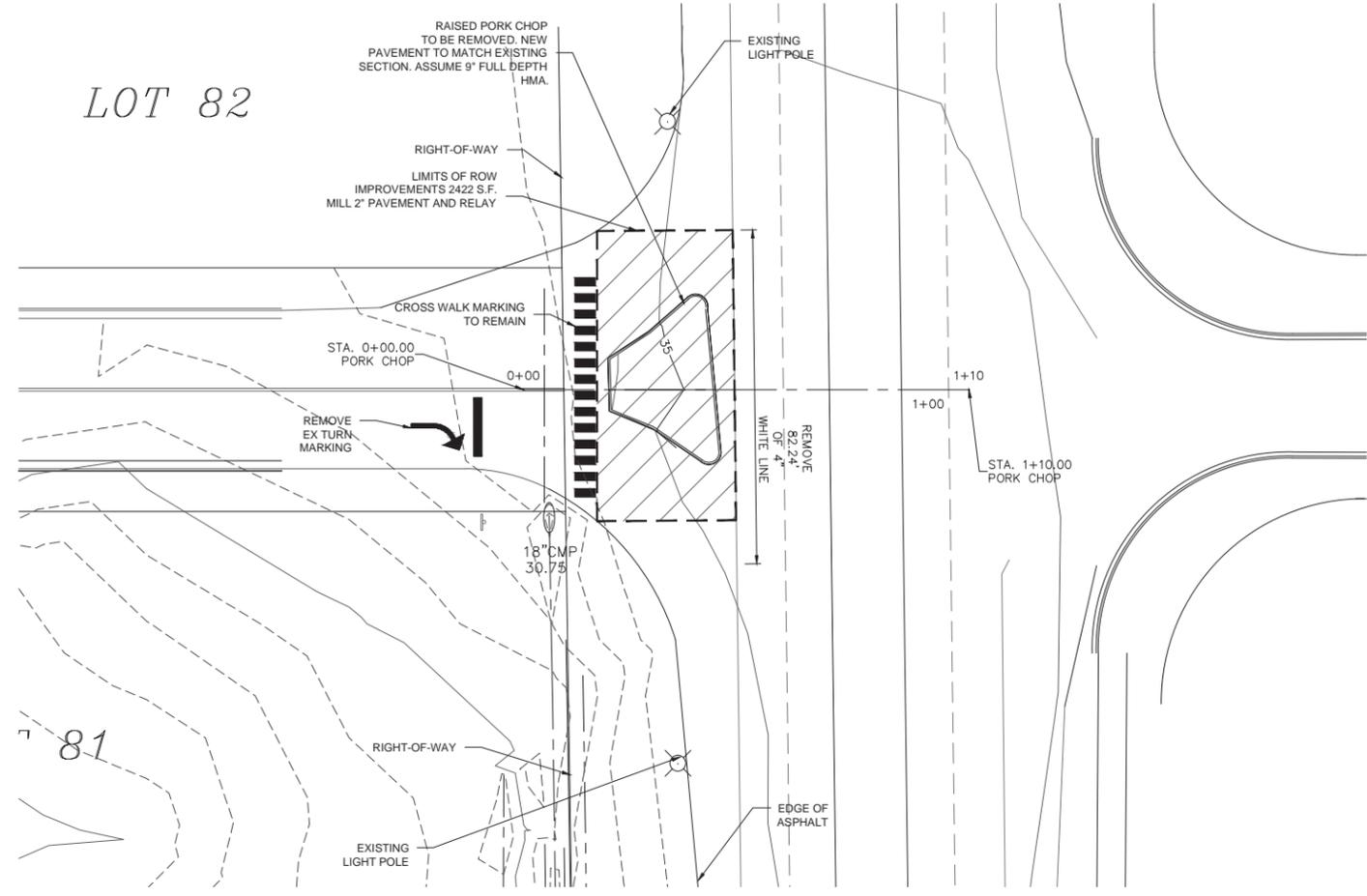
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REVISIONS:	DATE:
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PROJECT #: 12-123.30
DRAWN BY: MWB
REVIEWED BY: HC
SCALE: AS SHOWN
DATE: JAN. 9, 2013

PROJECT TITLE:
PROPOSED
PLAN &
PROFILE

SHEET NUMBER:
AP5



DO NOT SCALE
THESE PLANS

PROFESSIONAL STAMP:

PROJECT LOCATION:
**TRACTOR SUPPLY COMPANY
CORE & SHELL
AT BLUE MESA SHOPPING CENTER
GUNNISON, COLORADO**



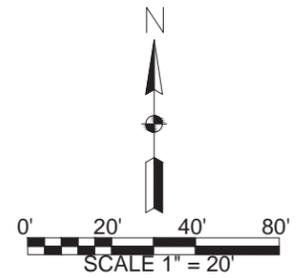
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REVISIONS:	DATE:
TSC 1ST REVIEW	01-09-13
TSC 2ND REVIEW	01-24-13

PROJECT #: 12-123.30
DRAWN BY: MWB
REVIEWED BY: HC
SCALE: AS SHOWN
DATE: JAN. 9, 2013

PROJECT TITLE:
TURNING TEMPLATE
/ SIGNAGE AND
PAVEMENT MARKING
SHEET NUMBER:

AP6

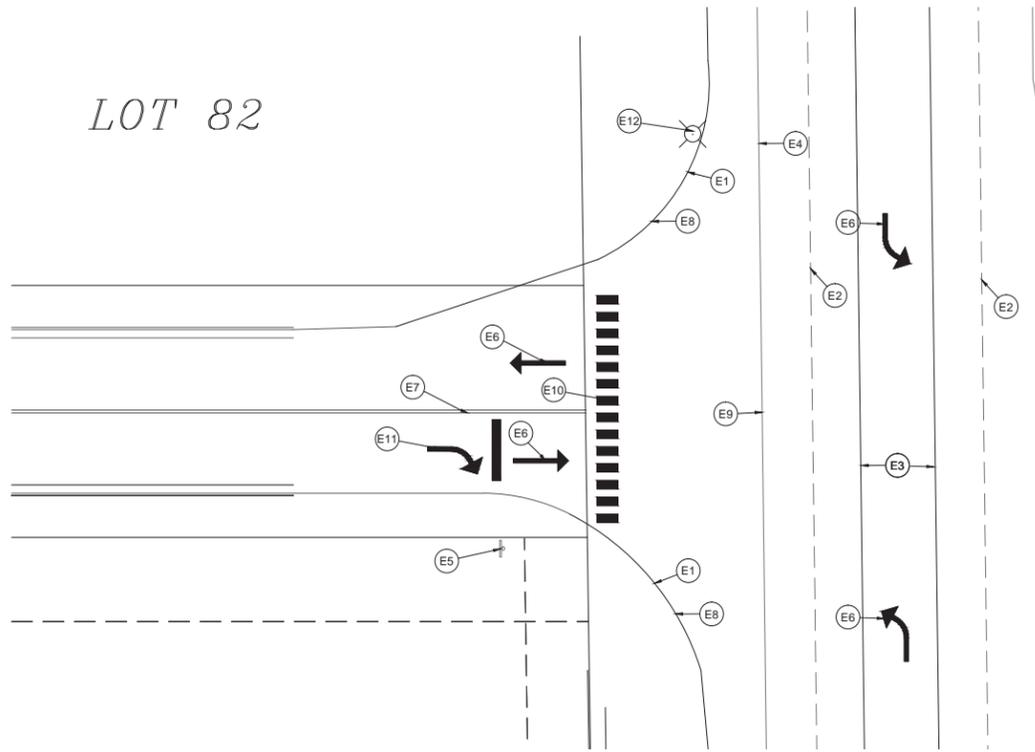


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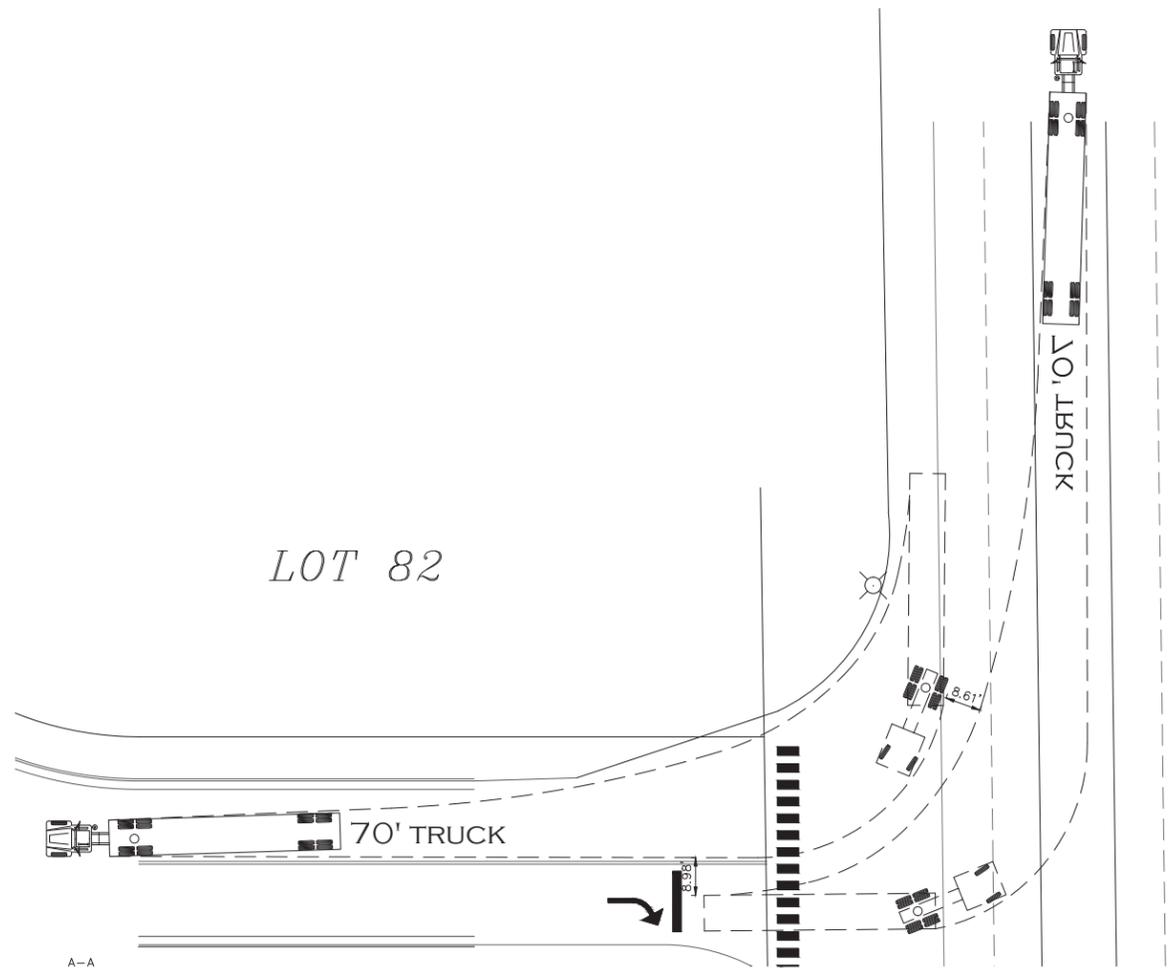
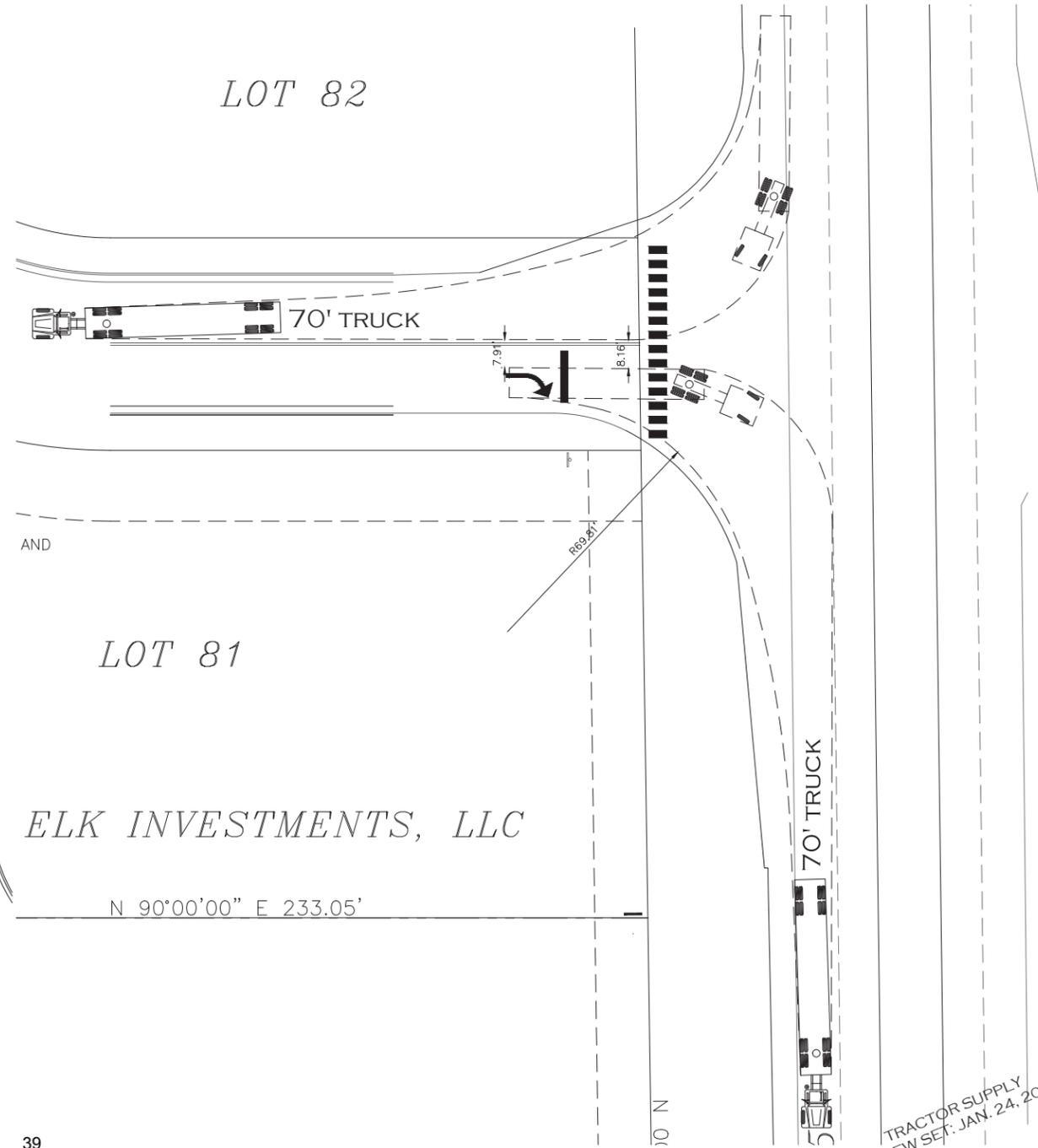
- IN CDOT REGION 3 ALL SIGN POSTS SHALL BE GALVANIZED TUBULAR STEEL.
- "FULL-COMPLIANCE" TEMPORARY PAVEMENT MARKINGS SHALL BE APPLIED PER CDOT SPECIFICATIONS AT THE END OF EACH CONSTRUCTION DAY. INTERIM MARKINGS FOR CENTER LANE LINES CONSIST OF 4-IN X 4-FT SEGMENTS WITH 36-FT GAPS OR DOUBLE YELLOW DEPENDING ON LOCATION.
- THE CONTRACTOR SHALL CONTACT CDOT PROJECT MANAGER AND ENGINEER OF RECORD, AT LEAST TWO WEEKS PRIOR TO SCHEDULED STRIPING. THE PERMITTEE WILL BE RESPONSIBLE FOR ANY CORRECTIONS REQUIRED UPON FINAL INSPECTION OF THE ACCESS.
- UNLESS AN ASPHALT OVERLAY IS REQUIRED, GRINDING OF EXISTING PAVEMENT MARKINGS SHALL BE REQUIRED BY CDOT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS AND IN A MANNER THAT WILL NOT AFFECT TRAFFIC FLOW.
- EXISTING SPEED LIMIT SIGNS ARE LOCATED APPROXIMATELY 300 FT NORTH OF COUNTRY ROAD 13 AS FOLLOWS:
*SPEED LIMIT 30' FOR SOUTHBOUND LANE
*SPEED LIMIT 55' FOR NORTHBOUND LANE

SIGNING AND STRIPING NOTES

- EXISTING STRIPING PATTERN TO REMAIN 4" SOLID WHITE PAINTED EDGE LINE
- EXISTING STRIPING PATTERN TO REMAIN 4" WIDE DASHED WHITE PAINTED LANE LINE
- EXISTING STRIPING PATTERN TO REMAIN 4" YELLOW CENTER TURNING LANE LINE
- EXISTING STRIPING PATTERN TO REMAIN 4" SOLID WHITE PAINTED TURN LANE LINE
- EXISTING SIGN TO REMAIN
- INSTALL PAVEMENT LEGEND (PERFORMED WHITE THERMOPLASTIC 125 MLS THICK), ARROWS
- DOUBLE YELLOW PAINTED CENTER LINES, 4" WIDE, 4" APART, TO REMAIN
- 4" SOLID WHITE PAINTED EDGE LINE TO REMAIN
- REMOVE A SECTION OF 8" SOLID WHITE PAINTED CHANNELIZING LINE, RE: AP-5.
- EXISTING CROSS WALK MARKING TO REMAIN
- REMOVE EX TURN ARROW
- EXISTING LIGHT POLE TO REMAIN



SIGNAGE AND PAVEMENT MARKINGS



DO NOT SCALE
THESE PLANS

WB 62 TEMPLATE RIGHT IN / LEFT OUT

WB 62 TEMPLATE RIGHT / RIGHT OUT

TRACTOR SUPPLY
REVIEW SET: JAN. 24, 2013

MEMBERS	PRESENT	ABSENT	EXCUSED
Carolyn Riggs, Chair	X		
Erik Niemeyer	X		
Erich Ferchau	X		
Andy Tocke	X		
Bob Beda			X
Greg Larson	X		
Councilor Ellen Harriman	X		

OTHERS PRESENT: Community Development Director Steve Westbay and Planner Andie Ruggera, and Cole Haberer.

I. CALL TO ORDER AT 7:00 PM BY CHAIR CAROLYN RIGGS

II. PLEDGE OF ALLEGIANCE TO THE FLAG

III. UNSCHEDULED CITIZENS. There were none.

IV. PUBLIC HEARING – SB 12-5, PRELIMINARY PLAT, AN APPLICATION BY DRAKE GUNNISON PARTNERS, LLC, TO SUBDIVIDE ONE LOT (4.8 ACRES) INTO FOUR LOTS, LOCATED IN THE COMMERCIAL ZONE DISTRICT

Open Public Hearing. Chair Carolyn Riggs opened the public hearing at 7:01 p.m.

Proof of Publication was shown for the record.

Application Process Review. Director Steve Westbay summarized the process for a Major Subdivision which is an application proposing more than eight lots or which subdivides a parent parcel of four acres or greater. Major Subdivisions are subject to a four step process:

1. review of Sketch Plan by the Planning and Zoning Commission at a public hearing;
2. review of the Preliminary Plat by the Planning and Zoning Commission at a public hearing;
3. review and recommendation of the Final Plat by the Planning and Zoning Commission (with no public hearing); and
4. action on the Final Plat by City Council (with no public hearing).

The applicant, Drake Gunnison Partners, LLC, represented by Cole Haberer, is requesting a Major Subdivision (preliminary plan) application to subdivide 4.8 acres into four lots. The legal description of the site is Lot 80, Re-plat of Lot 80, VanTuyl Village Subdivision (reception number 580957).

Director Steve Westbay began reviewing the application stating the proposed subdivision is located south of VanTuyl Circle and bordered by Sydney Street and Highway 135. He continued stating the application was straight forward with a basic concept and basic circulation for its pad sites. The internal private roads will be enforced through a declaration of covenants that seem very tight.

CDOT has granted the City an Access Permit for a full movement intersection at VanTuyl Circle and Highway 135. The Permit is allowed with conditions that there will never be a traffic light signal and that if there is a long-term safety hazard at the intersection the permit would be pulled.

Director Westbay continued his review and stated the Preliminary Plat submittal is the nuts and bolts portion of the subdivision. He stated there are some loose ends to be addressed, mainly with the irrigation ditch alignment, but nothing major needs to be addressed.

Applicant Presentation. The applicant, Cole Haberer, addressed the Commission. He stated that he has talked to staff regarding changes to the engineering utility plans. The majority of changes have already been made including the alignment of the irrigation ditch and shifting Bowman Street to the south to align with the center-line of VanTuyl Circle. Mr. Haberer thanked the Commission and stated they are very excited about this development

Public Input. Chair Riggs asked for public comments. There were none.

Staff Presentation. Director Steve Westbay stressed the importance of the engineering component during the preliminary phase and stated he didn't have anything further to present.

Commission Discussion. The Commission discussed the access permit at VanTuyl Circle and Highway 135. Steve Westbay stated that in the future if a street light was warranted at this location, it would be determined through CDOT State Codes.

Bowman Street was discussed and Commissioner Erich Ferchau asked why the City was burdening the applicant with improving Bowman. Steve Westbay replied the City did not ask the applicant to improve Bowman. The applicant asked if they could improve the street for greater circulation and emergency access to the development. The City is facilitating the request of the applicant to use the City's deeded property.

Close Public Hearing. Chair Riggs closed the public hearing at 7:26 p.m.

ACTION

Commissioner Greg Larson moved, Commissioner Erik Niemeyer seconded and the Planning and Zoning Commission voted to APPROVE the Major Subdivision Preliminary Plat, SB 12-5, Blue Mesa Shopping Center with the following findings of fact and conditions:

Findings of Fact:

1. The Planning and Zoning Commission finds that the record of this action includes the application contents on file with the City of Gunnison; all comments entered into the Public Hearing record; and provisions of the *City of Gunnison Land Development Code* and the *City of Gunnison Master Plan*.
2. The Planning and Zoning Commission finds that this application is for a Major Subdivision of a 4.8 acre parcel into four lots and the proposed lot configurations comply with minimal lot size and frontage standards established by the *LDC*.
3. The Planning and Zoning Commission finds that the property is located in the Commercial zone district and that the applicant intends to follow the City development standards for this district.
4. The Planning and Zoning Commission finds that the Preliminary Plat submittal includes detailed civil engineering plans that have been reviewed by the City Engineer and personnel from the Public Works Department and no major issues were found.
5. The Planning and Zoning Commission finds that the irrigation ditch alignment is shown outside the easement on the utility plan and the final plan will depict it within the existing 15 foot easement adjacent to Highway 135.

6. The Planning and Zoning Commission finds that alignment of the irrigation ditch within Bowman Street will be adjusted on documents submitted for Final Plat submittal.
7. The Planning and Zoning Commission finds that Final Plat documents will include two additional fire hydrants for internal service to the development.
8. The Planning and Zoning Commission finds that appropriate easements for utilities and access have been established and the Declaration of Covenants will be reviewed at Final Plat.
9. The Planning and Zoning Commission finds that a Traffic Impact Study was prepared and the report estimates approximately 1,429 vehicle trips per day will occur at build-out.
10. The Planning and Zoning Commission finds that the applicant desires a full movement intersection at VanTuyl Circle and Highway 135 and a Highway Access Permit application has been submitted to CDOT.
11. The Planning and Zoning Commission finds that Bowman Street, located on the south boundary of the proposed subdivision, is a deed restricted parcel with the restriction mandating the real property will be used as public right-of-way functions. The Planning and Zoning Commission further finds that the access as illustrated does not have appropriate alignment with VanTuyl Circle and the documents for the Final Plat submittal will depict the access in a proper alignment.
12. The Planning and Zoning Commission finds that the 15 foot easement and the Highway 135 right-of-way improvements allow for an eight foot-wide sidewalk, utilities and landscape buffer.
13. The Planning and Zoning Commission finds that the nine review standards for subdivisions have been or will be met based on the following Conditions:

Conditions

1. The Final Plat application shall comply with all provisions of the City's *Land Development Code*.
2. Use of Bowman Street shall comply with restrictions set forth by the deed and approved by the City Council.
3. The Final Plan submittal shall depict the center of the proposed Bowman Street aligning with the east/west centerline of VanTuyl Circle.
4. The Final Plan submittal shall depict the irrigation ditch along the eastern boundary of the property within the existing 15 foot easement adjacent to Highway 135.
5. Final Plat documents will include two additional fire hydrants for internal service to the development.

Roll Call Yes: Erich, Andy, Carolyn, Ellen, Erik and Greg

Roll Call No:

Roll Call Abstain:

Motion carried

- V. CONSIDERATION OF THE DECEMBER 12, 2012 MEETING MINUTES.** Commissioner Greg Larson moved and Commissioner Erik Niemeyer seconded to approve the December 12, 2012 meeting minutes as amended.

Roll Call Yes: Erik, Erich, Carolyn, Ellen, Andy and Greg

Roll Call No:

Roll Call Abstain:

Motion carried

VI. COUNCIL UPDATE. Councilor Harriman updated the Commission on recent Council business. The Council:

- held a public hearing regarding the VanTuyl Ranch Annexation into the City of Gunnison;
- held a public hearing regarding the VanTuyl Ranch PUD Zoning;
- held a public hearing and approved first reading of an ordinance for a 5% increase in electric utility rates;
- held a public hearing and approved a tavern liquor license from Knoll Holdings dba The Last Chance;
- appointed Ken (Tex) Bradford and Will Dowis to the MEAN/NMPP Executive Board;
- designated City Councilors to Committee appointments; and
- approved first reading of an ordinance regarding the Municipal Criminal Code, Marijuana Violations.

VII. COMMISSIONER COMMENTS.

Commissioner Greg Larson moved to excuse Bob Beda from the January 9, 2013 regular meeting. Mayor Ellen Harriman seconded the motion.

Roll Call Yes: Erik, Erich, Andy, Carolyn, Ellen and Greg

Roll Call No:

Roll Call Abstain:

Motion carried

Commissioner Erik Niemeyer moved to excuse Andy Tocke from the January 23, 2013 work session meeting. Commissioner Greg Larson seconded the motion.

Roll Call Yes: Erich, Andy, Carolyn, Ellen, Greg and Erik

Roll Call No:

Roll Call Abstain:

Motion carried

The Commission congratulated Erik on the new addition to his family and commended staff on their work with CDOT for the Highway Access Permit at VanTuyl Circle and Highway 135.

VIII. ADJOURN TO WORK SESSION. Chair Riggs adjourned the meeting to a work session at 7:55 p.m.

Carolyn Riggs, Chair

Attest:

Andie Ruggera, Secretary

21. “*Multi-Tenant Freestanding sign*” means a freestanding sign that provides identification for three or more tenants in a commercial development of more than 25,000 square feet of gross building area.
22. “*Off-premises Advertising sign*” means any off-premises sign, including a general outdoor advertising device, which advertises or directs attention to a business, commodity, service or activity conducted, sold or offered else-where than on the same lot or within the same building upon which such sign is located.
23. “*Portable sign*” means a sign which is not attached to the ground, a building or other structure, but does not include a *Vehicle-mounted sign* or *Sandwich Board sign* as defined in this Section.
24. “*Projecting sign*” means a sign attached to a building or extending in whole or in part greater than 12 inches or more horizontally beyond the surface of the building to which the sign is attached, but does not include a marquee sign as defined in this Section.
25. “*Real Estate sign*” means a sign indicating the availability for sale, rent or lease of the specific lot, building or portion of a building or lot upon which the sign is erected or displayed.
26. “*Revolving, Rotating or Spinning sign*” is a sign that has the capability to revolve three hundred and sixty degrees (360°) about an axis. See also: *Animated Sign, Mechanically Activated Sign*.
27. “*Roof sign*” means a sign painted on the roof of a building; supported by poles, uprights or braces extending from the roof of a building, but does not include a sign projecting from or attached to a wall as permitted by this Section (see *Wall sign*).
28. “*Sale sign*” means a temporary sign advertising a special sale of merchandise or service.
29. “*Sandwich Board sign*” means a sign not exceeding 32 inches in width to 42 inches in height located on a sidewalk/grass strip of a public right-of-way or on private property.
30. *Suspended sign* means a sign suspended from the ceiling of an arcade, marquee or canopy.
31. “*Temporary sign*” means a sign which is intended for a temporary period of display for the purpose of announcing a special event, advertising or directing persons to a subdivision or other land or building development, advertising personal property for sale, or promoting a political campaign or special election.
32. “*Time/Temperature/Community Announcement sign*” means a sign which displays information of interest to the community such as the current time and temperature or community announcements and bearing no commercial statements.
33. “*Vehicle-mounted sign*” means a sign displayed upon a trailer, van, truck, automobile, bus, railroad car, tractor, semi-trailer or other vehicle, whether or not such vehicle is in operating condition.
34. “*Vending Machine sign*” means a sign that is incorporated into and designed as a part of a vending machine.
35. “*Wall sign*” means a sign displayed upon or against the wall of an enclosed building or structure where the exposed face of the sign is in a plane parallel to the plane of the wall and extends not more than 12 inches horizontally from the face of the wall. A sign erected against the side of a roof (on the same plane) having a 6:12 pitch or less, is considered to be a wall sign, and shall be regulated as such.

Americans with Disabilities Act, whichever is more restrictive;

4. the sign must be free-standing and shall not be permanently affixed, chained, anchored, or otherwise secured to the ground or to any pole, parking meter, tree, tree grate, fire hydrant, railing, or other structure;
 5. the sign must be internally weighted so that it is stable and windproof;
 6. the sign is placed within the public right-of-way only during the hours of the establishment's operation;
 7. no sign shall be placed in a public right-of-way for the duration of a declared snow emergency; and,
 8. *Sandwich Board* signs shall not count toward the permitted sign area of the premise.
- I. Off-Premise Signs. Off-premise signs shall comply with all sign code standards. The calculated area of any off-premise sign shall be counted towards the total permitted sign area of the ownership parcel that displays the off-premise sign.
- J. Free Standing Sign Height. The free standing sign height shall be based on the distance the sign is setback from the back of the curb or edge of pavement where no curb exists. Signs setback zero to 20 feet shall have a maximum height of 15 feet; signs setback greater than 20 feet may increase the sign height six inches for every one foot of additional setback, to a maximum of 25 feet.
- K. Multi-tenant Signs. The following standards apply:
1. One multi-tenant sign shall be allowed for a street frontage on a commercial development with three or more tenants and with greater than 25,000 square feet gross floor area.
 2. Multi-tenant signs shall conform to the free standing sign height provisions of J, above;
 3. The sign shall be subject to review in conjunction with Final Plat Subdivision review or plans submitted and reviewed by the Community Development Director.
 4. The maximum sign area is 150 square feet.
 5. Multi-tenant signs shall not count toward the permitted sign area of each business.

15.100.090 Zone District Sign Regulations.

- A. Zoning Districts. The zoning districts, as set forth in GMC 15.50 and 15.60 and amendments thereto, shall apply to this Section. The boundaries of these zone districts shall be determined by reference to the zoning map of the City of Gunnison.
- B. Establishment of Zone District Regulations. The type of signs permitted and the regulation of the number, placement, area and use of signs is established herein. No sign shall be erected except as provided in this Section and in the district in which it is permitted, nor shall any sign be used for any purpose or in any manner except as allowed by the regulations for the district in which such sign is proposed or maintained.
- C. Schedule of Requirements. The following schedule of "class of sign permitted," "type of sign permitted," "maximum sign area permitted per lot," "maximum area per sign face," "maximum number

of signs permitted” and “maximum height of freestanding signs” regulations for the various zoning districts is adopted.

D. Maximum Sign Area is calculated according to the provisions of GMC 15.100.070.

SCHEDULE OF REQUIREMENTS FOR NONRESIDENTIAL ZONE DISTRICTS (CBD, I, C)			
Prohibited Signs	Maximum Sign Area by Permitted Type	Maximum Number of Signs Permitted	Maximum Height of Signs or other Restrictions
See GMC 15.100. 050 Prohibited Signs	Awning signs, Canopy signs , or signs on Architectural Projections: 30% of the width multiplied by the vertical height of the projection	1 per building face or per business storefront	
	Free Standing signs: calculated PSA up to a maximum of 60 square feet. EMC: 25% of sign area in Commercial; 12 square feet in CBD and Industrial	2 per parcel	25 feet; see GMC 15.100.080 for additional standards associated with freestanding signs.
	Joint Identification signs: PSA depends on the type of sign	1 per building face or per business storefront	May be freestanding, projecting, or wall. Where a joint identification sign is used, there shall be no other freestanding signs permitted on the premises.
	Other Sign Types: Marquees, Roof signs, or Wind signs – calculated PSA up to a maximum of 60 square feet	1 per building face or per business storefront	Industrial zone district roof signs must meet the definition of a wall sign
	Multi-tenant signs: up to a maximum of 150 square feet; prohibited in CBD and Industrial.	1 per commercial development frontage	25 feet; see GMC 15.100.080 for additional standards associated with multi-tenant signs.
	Projecting signs: 12 square feet per sign face EMC: 25% of sign area.	1 per frontage or 2 allowed on corner parcels	4 feet from the property line in the CBD, 8 feet from property lines in all other zoning districts. Maximum height: 18 feet or to the eave line or top of parapet wall of the building to which it is affixed. Minimum clearance: 8 feet from the ground to the bottom edge of the sign Maximum projection: 5 feet
	Standard Brand-Name signs:	1 per building face or per business storefront	Not more than 20% of the total percent of the PSA for any permitted use shall be devoted to the advertising of any standard brand-name commodities or services which are not the principal commodity or service being sold or rendered on the premises, or area not a part of the name of the business concern involved.